



THE PLANNING AND ZONING COMMISSION  
MEETS REGULARLY ON THE SECOND  
WEDNESDAY OF EACH MONTH

Posting Information:  
DS Building 3250 E. Kino Ave.  
Posted: 12/23/2025  
Time: 12:03 PM  
By: Robie Crockett

**AGENDA & NOTICE OF HEARING**  
**MOHAVE COUNTY PLANNING AND ZONING COMMISSION**  
**JANUARY 14, 2026**  
**700 WEST BEALE STREET**  
**KINGMAN, ARIZONA**  
**10:00 AM**

**MEMBERS**

<b><u>District 1</u></b>	<b><u>District 2</u></b>	<b><u>District 3</u></b>	<b><u>District 4</u></b>	<b><u>District 5</u></b>
Eugene Kirkham Michael Bradshaw	Bo Hellams John Hassett - Chair	Bruce Hubbard Melanie Martin	Cullin Pattillo Rex Ruge	Larry Morse LaJuana Gillette – Vice Chair

Pursuant to A.R.S. §38-431.02(H), the public will have physical access to the meeting place fifteen (15) minutes prior to the meeting.

Mohave County Planning and Zoning Commission members will attend in person or via telephone conference calls.

**Pledge of Allegiance**

**Roll Call**

**Announcements**

**Approval of Minutes**

Planning and Zoning Commission meetings are located in the Mohave County Administration Building. We ask persons attending the meetings to remember that the Administrative Building Campus is a tobacco-free area. Only bottled water, no food or soda, is allowed in the Auditorium where the meetings are held.

**THE PLANNING & ZONING COMMISSION MAY, BY MOTION, RECESS INTO EXECUTIVE SESSION TO RECEIVE LEGAL ADVICE FROM THE BOARD'S ATTORNEY(S) ON ANY ITEM CONTAINED IN THIS AGENDA PURSUANT TO ARS 38-431.03 (A) (3).**

**REGULAR AGENDA**

**ARIZONA STRIP AREA**

01. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity (south of Rainbow Road, west of Valley Palm Avenue), Mohave County, Arizona. **Jamie Marquez & Maria Cervantes. JN**

### LAKE HAVASU AREA

02. Evaluation of a request for a **PETITION OF EXCEPTION** for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity (south of North View Drive, west of Melody Drive), Mohave County, Arizona. **Iris Development Services**

### SOUTH MOHAVE VALLEY AREA

03. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 229-22-029D from a C-2H (Highway Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for open lot storage, in the Fort Mohave vicinity (south of Valencia Road, west of State Highway 95), Mohave County, Arizona. **Michael Simms and Bertha Loza. VB**
04. Evaluation of a request for a **SPECIAL USE PERMIT** for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity (west of Highway 95, north of Camp Mohave Road), Mohave County, Arizona. **Donald Plunkett for Camp Mohave 95, LLC MS**

### GOLDEN VALLEY AREA

05. Evaluation of a request for an **AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN** from a Rural Development Area land use designation, to a Suburban Development Area land use designation, and for a **REZONE** of Assessor's Parcel No. 217-03-011 from an A-R/2A (Agricultural Residential/Two Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for minor land division, in the Golden Valley vicinity (south Shinarump Drive, east of Havasupai Road), Mohave County, Arizona. **Gerald and Pamela Enders CB**

### MOHAVE COUNTY GENERAL AREA

06. Evaluation of a request for an **AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN** from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a **REZONE** of Assessor's Parcel Nos. 207-20-002A through -002H from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity (south of I 40 Frontage Road, west of Kickapoo Dr), Mohave County, Arizona. **Kirk Daniels and Katie Campbell VB**
07. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 335-03-040 from an A-R/36 A (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/10A and A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Red Lake vicinity (northeast of Dambro Ranch Road, east of Stockton Hill Road), Mohave County, Arizona. **Adrien Muya MS**

- ~~08. — Evaluation of a request for a **REZONE** of Assessor's Parcel No. 351-09-024 from an A-R/36 Acre (Agricultural Residential/ Thirty Six Acre minimum lot size) zone to an A-R/10A & A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Dolan Springs vicinity (north of Monterey Avenue, east of Eldon Road), Mohave County, Arizona. **Adrien Muya JN** — (POSTPONED TO FEBRUARY MEETING)~~

### KINGMAN AREA

09. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/ Thirty- Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/ Ten Acre minimum lot size) zone, to allow for a minor land division, in the Valle Vista vicinity (south Calle Glen, east Avenida Hafley), Mohave County, Arizona. **Michael Surabian and Terry Richards CB**
10. Evaluation of a request for a **REZONE** of Assessor's Parcel Nos. 310-25-013A through -013E from an A-R/5A (Agricultural Residential/Five Acre minimum lot size) and A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for an agricultural residential subdivision, in the Kingman vicinity (north of Calle Blanca, east of Illinois Drive), Mohave County, Arizona. **KTH Consulting for Heritage Enterprises, LLC VB**
11. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/30A and AR/6A (Agricultural Residential/Thirty Acre and Six Acre minimum lot size zone) zone, to allow for a minor land division, in the Hackberry vicinity (north of Elk Run Road, west of Frerichs Ranch Road), Mohave County, Arizona. **Troy and Margaret Grimes JN**
12. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity (south of Mountain Shadow Road, east of Singer Road), Mohave County, Arizona. **Connie Kuehn for Greg and Teresa Bean MS**

### OTHER

13. Evaluation of a request for a **REZONE** of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre minimum lot size zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity (north of Bolsa Drive, east of Teddy Roosevelt Road), Mohave County, Arizona. **CB (CONTINUED FROM DECEMBER 10, 2025 PLANNING AND ZONING MEETING)**
14. Evaluation of a request for an **AMENDMENT TO THE MOHAVE COUNTY BUILDING ORDINANCE 2021-03, SECTION R105.5**, to allow for a one-time special inspection fee of \$65.00 in lieu of the full permit fee to reinstate a permit and complete final inspection.

15. Evaluation of a request for an **AMENDMENT TO THE MOHAVE COUNTY BUILDING ORDINANCE 2021-03, SECTION M1307.3.1**, to define approved vehicle impact barriers.
16. Commissioners' comments -- limited to announcements, availability/attendance at conferences and seminars, request for agenda items for future meetings, and reports from staff.
17. Call to the Public

*According to the Americans with Disabilities Act (ADA), Mohave County endeavors to ensure the accessibility of all its programs, facilities, and services to all persons with disabilities. If you need accommodation for this meeting, please contact the Development Services Department at (928) 757-0903, ext. 5816.*

Supporting documentation for agenda items may be reviewed by [CLICKING HERE \(PDF Reader required\)](#) or by visiting our office at 3250 E. Kino Avenue, Kingman, AZ 86409.

01. **Evaluation of a request for a REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential Recreation) zone, for a minor land division in the Scenic vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to rezone the above-described property, as requested by Jaime Moreno, on behalf of Jaime Marquez & Maria Cervantes of Mesquite, Nevada.

Assessor's Parcel No. 402-24-132 is described as S1/2, NE1/4, SE1/4, SW1/4 of Section 16, Township 39 North, Range 16 West.

The site is approximately two (2) acres and is located south of Rainbow Road and west of Valley Palm Avenue. The site is accessed from County Highway 91, then south on Scenic Boulevard, then west on Elbow Canyon Road, then north on Arvada Road, then west on Rainbow Road approximately 0.53 miles to the site.

The site appears to contain a single family residence and the terrain appears to be relatively flat. The surrounding land uses consist of single-family homes and vacant land.

The applicant requests this rezone from an A-R (Agricultural Residential) zone to a R-E (Residential Recreation) zone, for a minor land division. The Mohave County General Plan designates this site as High Density Residential Area.

The site is not located within a fire district. Electric services appear to be available. Sewer and water services do not appear to be available. Rainbow Road is unpaved and is not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-0395G indicates the parcel described to be in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning similar to the above-proposed action.
- e. The site does appear to have legal access via unpaved roads.
- f. There does not appear to be any environmental features affecting the site.
- g. Electric services appear to be available. Sewer and water services do not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to an R-E (Residential Recreation) zone.
2. The submittal and recordation of a Parcel Plat prepared in accordance with Chapter 7, Minor Land Divisions, of the Mohave County Land Division Regulations, and 102.01-03 of the Standard Specifications and Details is required.
3. The gross acreage of the parent parcels and the total acreage of the resulting proposed parcels may differ, as the number of parcels, their configuration, and the possibility of the need for roadway easements and /or dedications will not ultimately be known until the approval and recordation of a parcel plat for this property. Each parcel shall meet or exceed its respective acreage, exclusive of roadways.
4. This conditional approval does not guarantee the applicant the number of parcels proposed, nor relieve them, nor the County from their obligations to comply with applicable state statutes and county regulations as a part of this land division. The number of parcels created in conjunction with this rezone may need to be reduced to be considered a minor land division. As a part of the review of this application and the subsequent parcel plat, Mohave County will determine if the resulting division would constitute a subdivision action, a common plan, or a case of acting in concert with other parties and may prescribe a course of processing consistent with Mohave County Land Division Regulations.
5. Roadway rights-of-way/easements shall be dedicated/granted as necessary to provide legal access to all parcels. Said rights-of-way/easements may be public or private. Any rights-of-way/easements dedicated/granted to the County shall be accepted by the Board of Supervisors. Mohave County Public Works will review the right-of-way/easement requirements with the Surveyor of Record prior to or during the Parcel Plat submittal.
6. All public easements granted and rights-of-way dedicated and shown on the Parcel Plat will be accepted by the Board of Supervisors upon Parcel Plat recordation.
7. Each parcel shall have legal access.
8. The applicable flood zone(s) shall be noted on the Parcel Plat.
9. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.
10. The appropriate permits will be obtained prior to construction.

11. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 402-42-132 Current Zoning: AR Parcel Size 2 Acres

Legal Description:

T39N R16W SEC 16 S2 NE4 SE4 SW4 EXC E 132' & EXC N & s 25' R/W FOR RDS PER 122/15 DEEDS CONT 2 AC M/L 402-24-116(402-24-132 & 133)

Water Provider: Well Electric provider: Dixie Power Sewer provider: Septic

Present use of property: SINGLE FAMILY HOME RESIDENCE

## Owner Information

Owner Name(must match current deed): JAIME MARQUEZ & MARIA A CERVANTES

Mailing Address: PO BOX 3493 City: MESQUITE State: NV Zip: 89027

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: Jaime Moreno

Mailing Address: PO BOX 1142 City: Mesquite State: NV Zip: 89027

Phone number: [REDACTED] Email: [REDACTED]

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: RE

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

Future parcel split for single-family home build lot size compliance

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

Jaime Marquez Maria A. Cervantes  
[Signature] [Signature]

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from AR to RE for the purpose of Future parcel split for single-family home build lot size compliance.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

Jaime Moreno

Applicant / agent

Contact information:

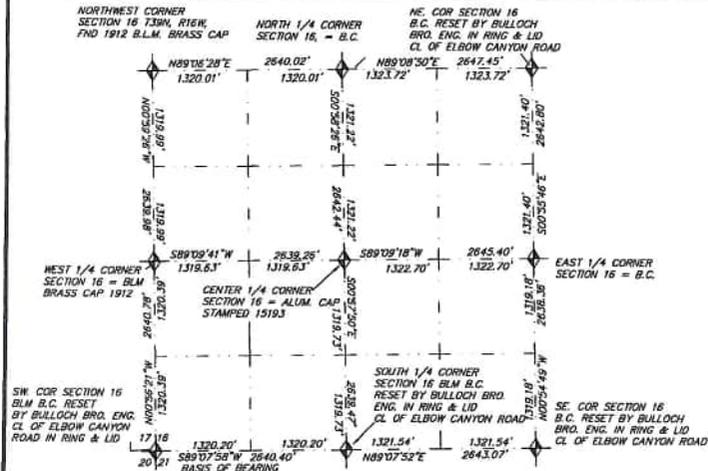
  
\_\_\_\_\_  
\_\_\_\_\_

Assessor Parcel Number and Legal Description of proposed subject property: 402-24-132

T39N R16W SEC 16 S2 NE4 SE4 SW4 EXC E 132' & EXC N & s 25' R/W FOR RDS PER 122/15 DEEDS CONT 2 AC M/L 402-24-116(402-24-132 & 133)

# RECORD MAP OF SURVEY

BEING A DIVISION OF PARCEL 402-24-132  
 S1/2, NE1/4, SE1/4, SW1/4, OF SECTION 16  
 TOWNSHIP 39 NORTH, RANGE 16 WEST, G.&S.R.M.  
 MOHAVE COUNTY, ARIZONA



### LEGEND

- SET 5/8" REBAR AND PLASTIC CAP STAMPED PLS 21070 (UNLESS OTHERWISE NOTED)
- ◆ SECTIONAL MONUMENTATION (AS SHOWN AND DESCRIBED)
- ⊙ FOUND MONUMENTATION (AS SHOWN AND DESCRIBED)
- POINT NOT FOUND OR SET
- ohp OVERHEAD POWER LINE
- ⌋ POWER POLE

### SURVEYOR'S CERTIFICATE:

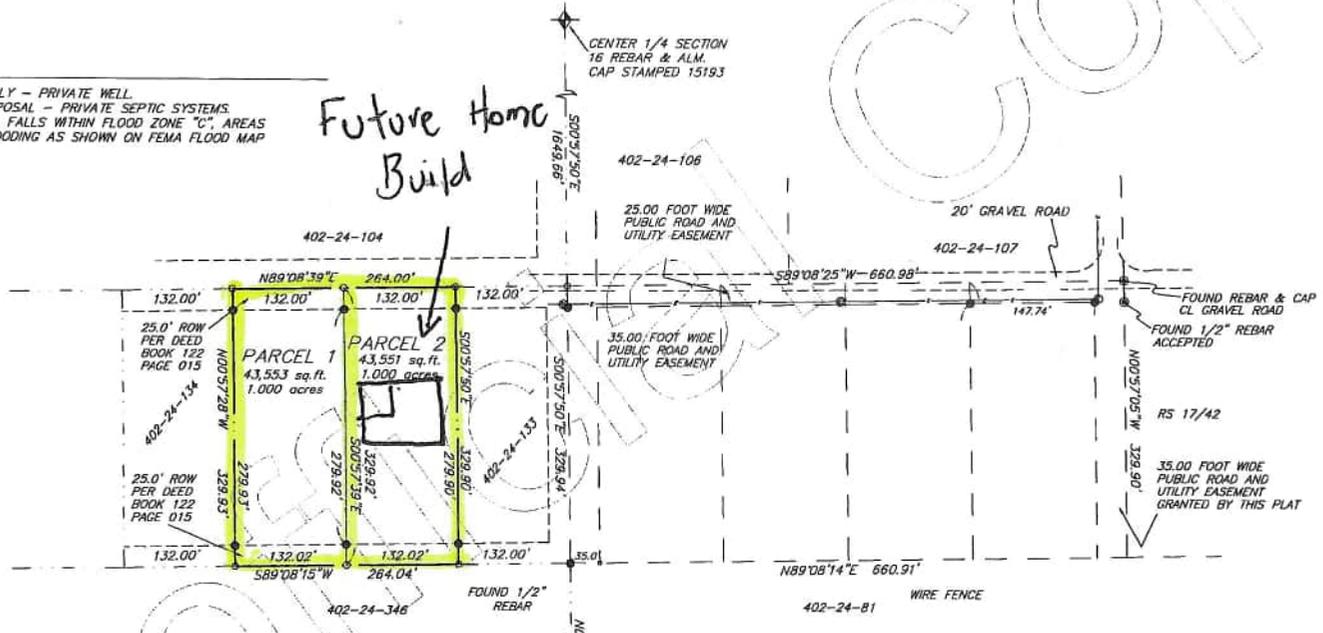
THIS IS TO CERTIFY THAT THE SURVEY AND MONUMENTATION OF THIS RECORD OF SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND IS ACCURATELY REPRESENTED ON THIS PLAT.



### NOTES

1. WATER SUPPLY - PRIVATE WELL
2. SEWAGE DISPOSAL - PRIVATE SEPTIC SYSTEMS
3. THIS PARCEL FALLS WITHIN FLOOD ZONE "C", AREAS OF MINIMAL FLOODING AS SHOWN ON FEMA FLOOD MAP

*Future Home Build*



### RECORDER'S CERTIFICATE

FILED AT THE REQUEST OF Judy Lane  
 ON October 18 2006  
 RECORDS OF MOHAVE COUNTY, ARIZONA  
 IN BOOK 33 RECORD OF SURVEY, PAGE 20  
 BY: Jan McCall COUNTY RECORDER Mueli Punn DEPUTY COUNTY RECORDER  
 RECEPTION No. 2006182242 FEE \$ 9000 + \$28.00

### RECORD MAP OF SURVEY

LOCATION: S1/2, NE1/4, SE1/4, SW1/4, OF SECTION 16  
 TOWNSHIP 39 NORTH, RANGE 16 WEST, G.&S.R.M.  
 MOHAVE COUNTY, ARIZONA 402-24-132  
 FIELD SURVEY PERFORMED: SEPT 04, 2006  
 REQUESTED BY: FELIPE FAVELA



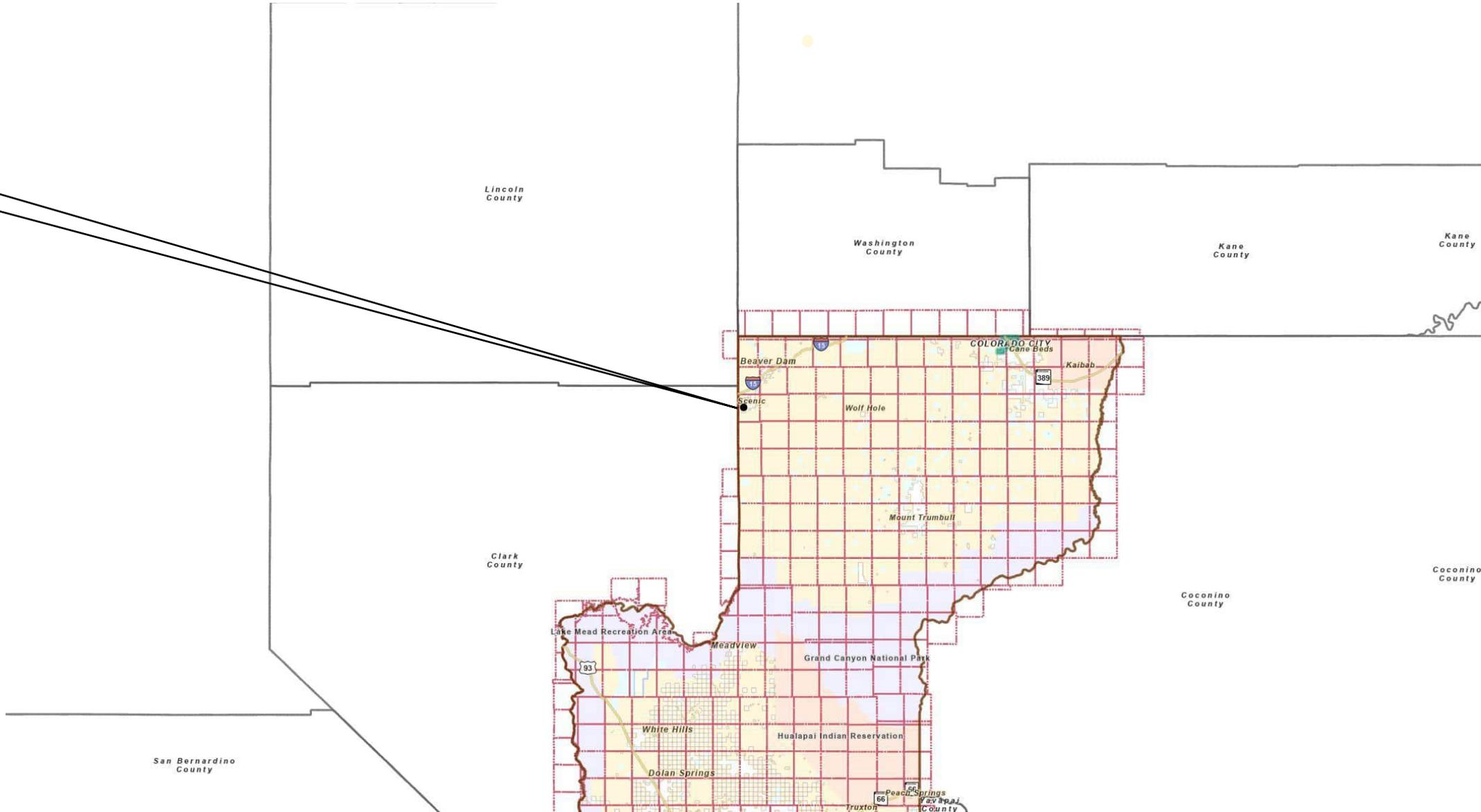
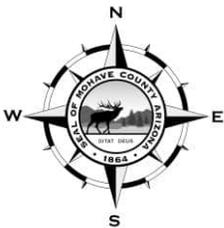
**KEN HAMBLIN LAND SURVEYING INC.**  
 144 W. BRIGHAM ROAD SUITE 4-8 ST. GEORGE UTAH, 84790 UTAH NEVADA ARIZONA  
 LAND SURVEYING INC. P-438-878-8078 (OFFICE) P-438-878-7888 (FAX)

# REZONE 402-24-132 GENERAL MAP

REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity.

Section 16  
T 39 N, R 16 W

Subject  
Property



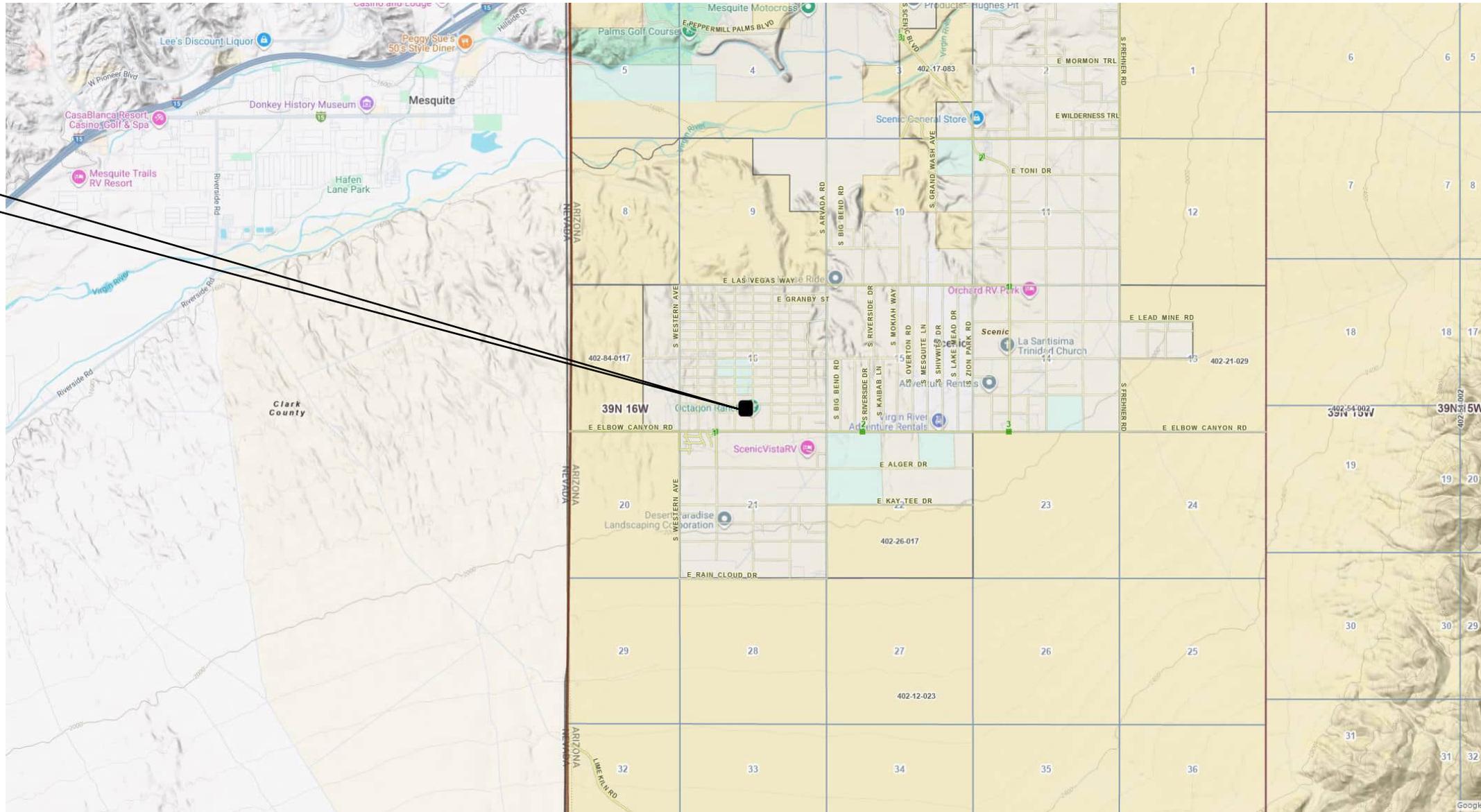
# REZONE 402-24-132

## VICINITY MAP

REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity.

Section 16  
T 39 N, R 16 W

Subject  
Property

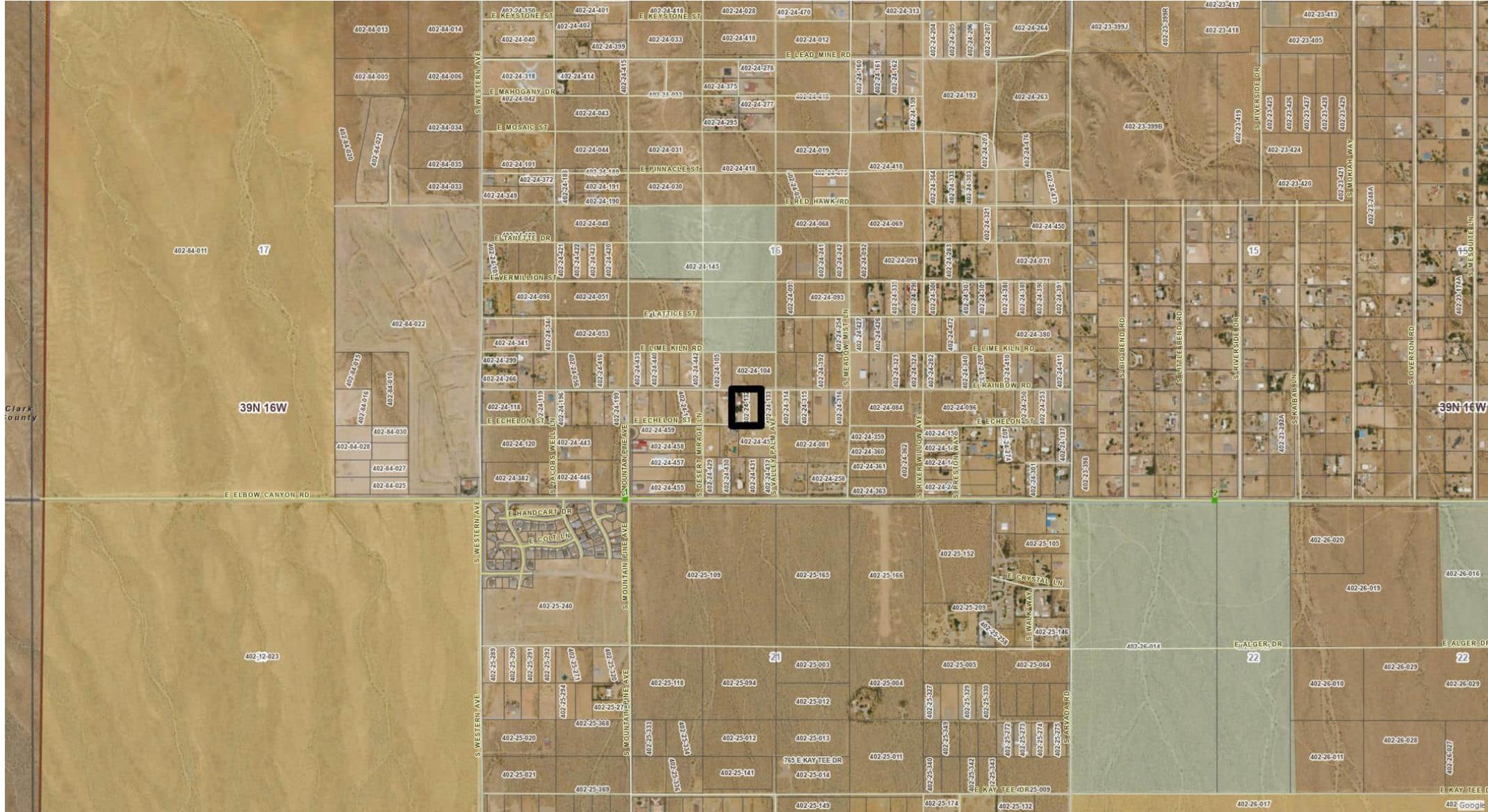


# REZONE 402-24-132

## SITE MAP

REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity.

Section 16  
T 39 N, R 16 W



Clark County

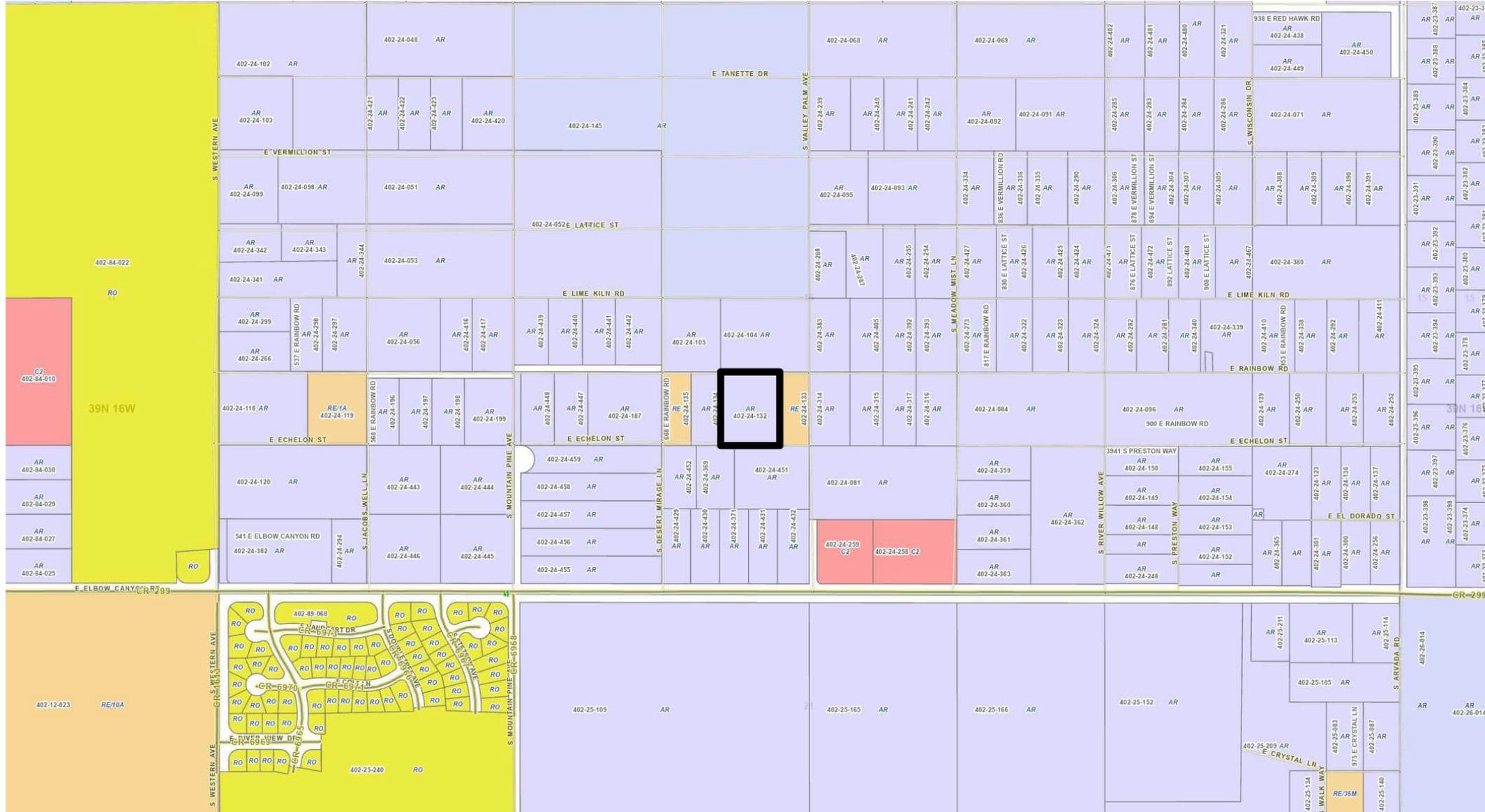
# REZONE 402-24-132

## ZONING MAP

REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity.

Section 16  
T 39 N, R 16 W

- |  |   |
|--|---|
|  A     |  R-M       |
|  A-D   |  R-MH      |
|  A-R   |  R-O       |
|  C-1   |  R-O/A     |
|  C-2   |  R-P       |
|  C-2H  |  R-TT      |
|  CITY  |  S-D/A     |
|  C-M   |  S-D/C     |
|  C-MO  |  S-D/C-1   |
|  C-RE  |  S-D/C-2   |
|  E     |  S-D/C-M   |
|  M     |  S-D/C-RE  |
|  M-2   |  S-D/M     |
|  MIXED |  S-D/R     |
|  M-X   |  S-D/R-1   |
|  N-P   |  S-D/R-E   |
|  R-1   |  S-D/R-M   |
|  R-2 |  S-D/R-O |
|  R-E |   |





# REZONE 402-24-132 REQUEST

REZONE of Assessor's Parcel No. 402-24-132 from an A-R (Agricultural Residential) zone to an R-E (Residential-Recreation) zone, to allow for a minor land division, in the Scenic vicinity.

Section 16  
T 39 N, R 16 W



# ZONING NOTICE

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Mohave County, Arizona, at the regular meeting room of the Commission, 700 W. Beale Street, Kingman, Arizona, on Wednesday, January 14, 2008, at 10:00 A.M.

As provided in the Commission's Rules and Regulations, the Commission will consider all applications for rezoning, conditional use permits, and other zoning actions. The Commission's decision is final and subject to appeal to the Superior Court of the State of Arizona. The Commission's decision is final and subject to appeal to the Superior Court of the State of Arizona. The Commission's decision is final and subject to appeal to the Superior Court of the State of Arizona.

FOR MORE INFORMATION, CONTACT THE PLANNING AND ZONING COMMISSION AT 700 W. BEALE STREET, KINGMAN, ARIZONA 86401, PHONE (930) 295-1234.



**ZONING NOTICE**

NOTICE IS HEREBY GIVEN that a Hearing Commission of Mohave County, Arizona, will be held for the Planning and Zoning Commission meeting room of the Commission, 300 W. Beale Street, Williams, Arizona, on Wednesday, January 14, 2009, at 10:00 A.M.

THE PLANNING AND ZONING COMMISSION MEETING ROOM IS LOCATED AT 300 WEST BEALE STREET, WILLIAMS, ARIZONA. THE HEARING WILL BE HELD AT 10:00 A.M. ON WEDNESDAY, JANUARY 14, 2009. ANY PERSON WHO WISHES TO APPEAR AT THE HEARING SHOULD CONTACT THE PLANNING AND ZONING COMMISSION AT 928-865-1234 FOR MORE INFORMATION.

02. **Evaluation of a request for a PETITION OF EXCEPTION for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity, Mohave County, Arizona**

This evaluation is to determine whether approval should be granted to approve this Petition of Exception for North Pointe Subdivision, Tract 3703, as requested by Iris Development Services, of Lake Havasu City, Arizona.

North Pointe, Tract 3703 is a subdivision located in a portion of Section 17, Township 14 North, Range 20 West.

The Preliminary Plat for Tract 3703 was originally approved in 2004. The Final Plats for the first four (4) phases of the subdivision have previously been approved. Sidewalks and street lights were not improvement requirements for the first four (4) phases that have already been completed.

The Mohave County Land Division Regulations were updated in 2010, which changed the requirements for sidewalks and streetlights, making them now a required improvement for the unfinished phase of this subdivision.

The applicant requests this Petition of Exception to waive the requirement for sidewalks and streetlights, due to this being an infill phase of the subdivision with none of the previous surrounding phases having sidewalks or streetlights.

Mohave County Public Works has reviewed this petition of exception request, and has no objection.

A review of FEMA FIRM Panel #04015C-5920H indicates the parcel described to be almost entirely in Zone X and Zone X (shaded), not in the Special Flood Hazard Area, with a small portion of the east side of the site in Zone AE, in the Special Flood Hazard Area

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. There do not appear to be any significant environmental features affecting the site.

**STAFF RECOMMENDATION:**

**Staff finds that this Petition of Exception is proper for consideration, subject to the following:**

1. Sidewalks and streetlights are not required for North Pointe, Tract 3703



October 31, 2025

Mr. Matthew Gunderson  
Planning Manager Mohave County  
3250 E. Kino Avenue, Kingman, AZ 86409  
Phone: (928) 757-0903 Fax: (928) 757-3577

Dear Mr. Gunderson,

Pursuant to our recent conversations, and as an agent for the owner of Tract 3073-F, North Pointe Subdivision, we are seeking a petition of exception to include streetlights and sidewalks.

The project is an infill of a larger subdivision built over the past decades and adjoins it on multiple sides. The existing developments do not include streetlights or sidewalks and consist of only single-family homes, so the exception for these items preserves continuity and is consistent with the community's existing nature.

Thank you in advance for consideration of the exception. We are available to address any questions or comments that staff or the commission may have.

Sincerely,

A handwritten signature in blue ink that reads 'M.F. Hall IV' with a small flourish at the end.

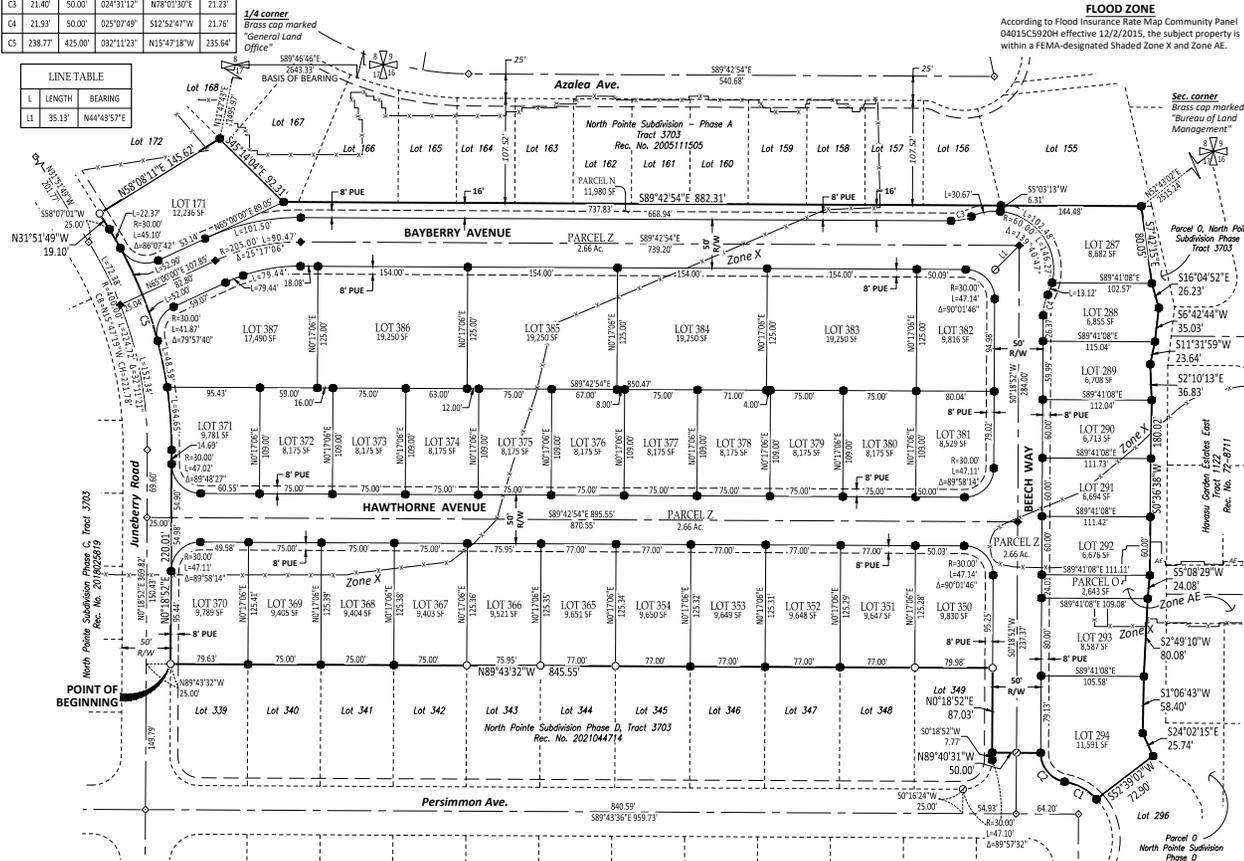
M.F. Hall IV, PE  
President

CURVE TABLE						
C	L	R	Δ	CB	CH	
C1	38.05	60.00	038°20'06"	N61°24'46"W	37.42	
C2	41.82	30.00	079°52'19"	N39°37'17"W	38.52	
C3	21.40	50.00	024°31'12"	N78°01'30"E	21.23	
C4	21.93	50.00	025°07'49"	S12°52'47"W	21.76	
C5	238.77	425.00	032°11'23"	N15°47'18"W	235.64	

LINE TABLE	
L	BEARING
L1	35.13' N44°43'57"E

# PLAT OF NORTH POINTE SUBDIVISION - PHASE F, TRACT 3703 IN THE N 1/2 SECTION 17, T14N, R20W, G&SRM, CITY OF LAKE HAVASU CITY, MOHAVE COUNTY, ARIZONA

**FLOOD ZONE**  
According to Flood Insurance Rate Map Community Panel 04015C5920H effective 12/2/2015, the subject property is within a FEMA-designated Shaded Zone X and Zone AE.



**DESCRIPTION**  
Parcel No. 2 as described in the deed at REC. No. 2022000230, Records of Mohave County, situated in the N 1/2 Section 17, T14N, R20W, G&SRM, Mohave County, Arizona, and being further described as follows:

Beginning at the northwest corner of Lot 339, North Pointe Subdivision - Phase D, said point being on the east line of Juneberry Road; thence on said east line N00°18'52"E, 220.01 feet; thence on a 425.00-foot radius arc to the left, 238.77 feet, through a central angle of 32°11'23", with a chord bearing of N15°47'18"W and a chord length of 235.64 feet; thence continuing on said right-of-way boundary, N31°51'49"W, 19.10 feet, to the southermost corner of Lot 172 of North Pointe Subdivision Phase A, Tract 3703; thence on the southerly boundary of said Phase A, through the following three courses:

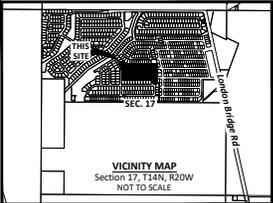
- N58°08'11"E, 145.62 feet,
- S45°14'04"E, 92.31 feet, and
- S89°42'54"E, 882.31 feet, to the northwest corner of Parcel O, North Pointe Subdivision - Phase D, Tract 3703;

thence on the westerly line of said Parcel O through the following ten courses:

- S07°42'15"E, 80.05 feet; S16°04'52"E, 26.23 feet; S06°42'44"W, 35.03 feet; S11°31'59"W, 23.64 feet; S02°30'13"E, 36.83 feet; S00°36'38"W, 180.02 feet; S05°08'29"W, 24.08 feet; S02°49'10"W, 80.08 feet; S01°06'43"W, 58.40 feet; and S24°02'15"E, 25.74 feet, to the northermost corner of Lot 296, North Pointe Subdivision - Phase D, Tract 3703; thence on the northerly line of Lot 296 S52°39'02"W, 72.90 feet, to the northerly line of Persimmon Ave.; thence on said northerly line through the following three courses:
- on a non-tangent 60.00-foot radius arc to the left, 38.05 feet, through a central angle of 36°20'06", with a chord bearing of N61°24'46"W and a chord length of 37.42 feet,
- on a 30.00-foot radius arc to the right, 41.82 feet, through a central angle of 79°53'53", and
- N89°40'31"W, 50.00 feet, to the east line of Lot 349, North Pointe Subdivision - Phase D, Tract 3703;

thence on said east line N00°18'52"E, 87.03 feet, to the northeast corner of said Lot 349; thence along the north boundary of North Pointe Subdivision - Phase D, Tract 3703, N89°43'32"W, 845.55 feet, to the Point of Beginning.

Said parcel containing 11.64 acres.



**LEGEND**

- FOUND REBAR & BLUE CAP MARKED "LS 16913" OR AS OTHERWISE NOTED
- ◇ FOUND BRASS CAP MARKED "LS 16913" OR AS OTHERWISE NOTED
- SET REBAR & RED CAP OR NAIL & WASHER MARKED "RLS 77642" AS CONDITIONS DICTATE
- ◆ SET 5/8" REBAR & BRASS CAP MARKED "RLS 77462"
- CALCULATED LOCATION, NOTHING FOUND OR SET
- R/W RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT
- MCR RECORDS OF THE MOHAVE COUNTY RECORDER
- SURVEYED BOUNDARY
- SURVEYED LOT LINE
- - - EXISTING LOT LINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- - - TIE LINE
- - - FEMA ZONE X
- - - FEMA ZONE AE

**DEDICATION**

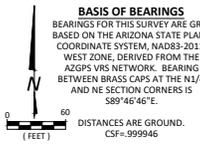
State of Arizona )  
County of Mohave )

Know all men by these presents, that Cortif Enterprises, LLC, owner of the above-described property, has subdivided under the name of North Pointe Subdivision - Phase F, Tract 3703, the above-described property, as shown and platted herein, and hereby publishes this plat as the plat of said North Pointe Subdivision - Phase F, Tract 3703, and hereby declares that said plat sets forth the location and gives the dimensions of the lots, parcels, blocks, and road names constituting same, and that each lot, parcel, block, and road shall be known by the number, letter or name given each respectively on said plat, and hereby dedicates to the homeowners' association, for its use as such, the roads shown on said plat and included in the above-described premises. Easements are hereby granted to the public for the purposes shown on the plat. We, Cortif Enterprises, LLC, the owner(s) of this property, hereby certify that we are the only person(s) whose consent is necessary to pass, through the dedication of rights-of-way shown herein, clear title of said land to Mohave County, on behalf of the public, and to grant the easements shown herein.

Parcel N is hereby dedicated to the homeowners' association for landscape purposes.  
Parcel O is hereby dedicated to the homeowners' association for emergency access, drainage and public utility purposes.  
Parcel Z is hereby dedicated to the homeowners' association for private road purposes. A private access easement for the benefit of all phases of North Pointe Subdivision and a public utility easement are hereby dedicated over the entirety of Parcel Z.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.  
Cortif Enterprises, LLC

By \_\_\_\_\_  
Title \_\_\_\_\_  
Notary Acknowledgement  
State of Arizona )  
County of Mohave )  
On this \_\_\_\_\_ day of \_\_\_\_\_, 2025, before me personally appeared \_\_\_\_\_, and that he being authorized to do so, executed the foregoing plat for the purposes therein contained purposes by signing the plat.  
Witness my hand and official seal.  
Notary Public  
My commission expires \_\_\_\_\_



**PROPERTY OWNER**  
CORTIF ENTERPRISES, LLC  
1505 E WEBER RD #104  
TEMPE, AZ 85288

**SURVEYOR'S NOTES**  
1. All dimensions are measured unless otherwise noted.

**REFERENCED DOCUMENTS**

Doc. Type	Recording Information
Warranty Deed	Rec. No. 2022000230
Subdivision Plat	North Pointe Subdivision - Phase A Tract 3703, Rec. No. 2005111505
Subdivision Plat	North Pointe Subdivision - Phase C Tract 3703, Rec. No. 2018025819
Subdivision Plat	North Pointe Subdivision - Phase D Tract 3703, Rec. No. 2022044714

**CERTIFICATE OF SURVEYOR**  
This is to certify that the boundary survey and monumentation of the above-described subdivision was made under my direction and supervision and is accurately represented on this plat.

Riley Pearson, RLS  
AZ Lic. No. 77462  
Date \_\_\_\_\_  
**PRELIMINARY**  
PEARSON  
5/11/2025

**CERTIFICATE OF ASSURANCE**  
Satisfactory assurance in the form of a performance bond from the developer has been provided in the full amount necessary to guarantee completion of all improvements for the above-described subdivision.

Chairman, Mohave County Board of Supervisors \_\_\_\_\_ Date \_\_\_\_\_  
Attest: \_\_\_\_\_ Date \_\_\_\_\_  
Clerk of the Board

**CERTIFICATE OF COUNTY APPROVAL**  
This plat has been checked for conformance to the approved Preliminary Plat and any special conditions attached thereto, to the requirements of the Mohave County Land Division Regulations, and to any other applicable regulations, and appears to comply with all requirements within my jurisdiction to check and evaluate.

By \_\_\_\_\_ Date \_\_\_\_\_  
Mohave County Department of Environmental Quality  
By \_\_\_\_\_ Date \_\_\_\_\_  
Mohave County Engineer  
By \_\_\_\_\_ Date \_\_\_\_\_  
Mohave County Development Services Director

**CERTIFICATE OF PROJECT ENGINEER**  
This is to certify that the engineering and design of the above-described subdivision was made under my direction and supervision and is accurately represented on this plat.

Marion Hall, PE  
AZ Lic. No. 68493  
Date \_\_\_\_\_  
68493 MARION HALL  
DESIGNED PROFESSIONAL ENGINEER CIVIL  
ARIZONA, U.S.A.  
Expires 03/31/2026

**CERTIFICATE OF COUNTY CLERK**  
I, \_\_\_\_\_ Clerk of the Board of Supervisors of Mohave County, hereby certify that said Board approved the within plat on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, and accepted on behalf of the public all parcels of land offered for dedication and granted for public use in conformity with the terms of the offer of dedication.  
Clerk of the Board \_\_\_\_\_ Date \_\_\_\_\_

**CERTIFICATE OF COUNTY RECORDER**  
This subdivision final plat was filed and recorded at the request of Cortif Enterprises, LLC, owner of the above-described property, on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, at Reception Number \_\_\_\_\_  
Deputy County Recorder \_\_\_\_\_ Date \_\_\_\_\_  
County Recorder \_\_\_\_\_ Date \_\_\_\_\_

**ABUNDANCE LAND SERVICES LLC**  
PO Box 967, Lake Havasu City, AZ 86405  
info@abundance-land.com (908) 946-2904  
C:\Users\John.Lee\Desktop\Working\Subdivisions\Working\AL500000\REC\Certificates\08  
Printed: 05/09/25  
Page 1 of 1

# GRADING AND PAVING PLANS

NORTH POINTE SUBDIVISION - PHASE "F"  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 14 NORTH, RANGE 20 WEST,  
 OF THE GILA AND SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA

## PROJECT DESIGN TEAM

**OWNER/DEVELOPER**  
 CORTIP ENTERPRISES, LLC  
 1505 E. WEBBER ROAD #104  
 TEMPE, AZ 85288  
 EMAIL: CHUCKW@CORTIFENT@GMAIL.COM

**CIVIL ENGINEER**  
 IRIS DEVELOPMENT SERVICES, LLC  
 321 LAKE HAVASU BOULEVARD, STE 201  
 LAKE HAVASU CITY, ARIZONA 86406  
 PHONE: 928.433.3816

**SURVEYOR**  
 ABUNDANCE LAND SERVICES LLC  
 PO BOX 1867  
 LAKE HAVASU CITY, AZ 86405  
 PHONE: 408.568.2284  
 EMAIL: RILEY@ABUNDANCELS.NET

## PERMITTING / UTILITY CONTACTS

**EPCOR**  
 2355 W. PINNACLE PEAK ROAD, SUITE 300  
 PHOENIX, AZ 85027  
 PHONE: 602.445.2495  
 JVELO2@EPCOR.COM

**SEWER**  
 LAKE HAVASU CITY (WASTE WATER)  
 900 LONDON BRIDGE RD  
 LAKE HAVASU CITY, AZ 86404  
 PHONE: 928.855.3999

**ELECTRICITY**  
 UNISOURCE ENERGY SERVICES  
 2749 MARICOPA AVENUE  
 LAKE HAVASU CITY, AZ 86406  
 PHONE: 928.955.7025

**GAS**  
 UNISOURCE ENERGY SERVICES  
 2749 MARICOPA AVENUE  
 LAKE HAVASU CITY, AZ 86406  
 PHONE: 928.955.7025

**FIRE DEPARTMENT**  
 DESERT HILLS FIRE DISTRICT  
 3983 LONDON BRIDGE ROAD  
 LAKE HAVASU CITY, ARIZONA 86404  
 PHONE: 928.764.3333

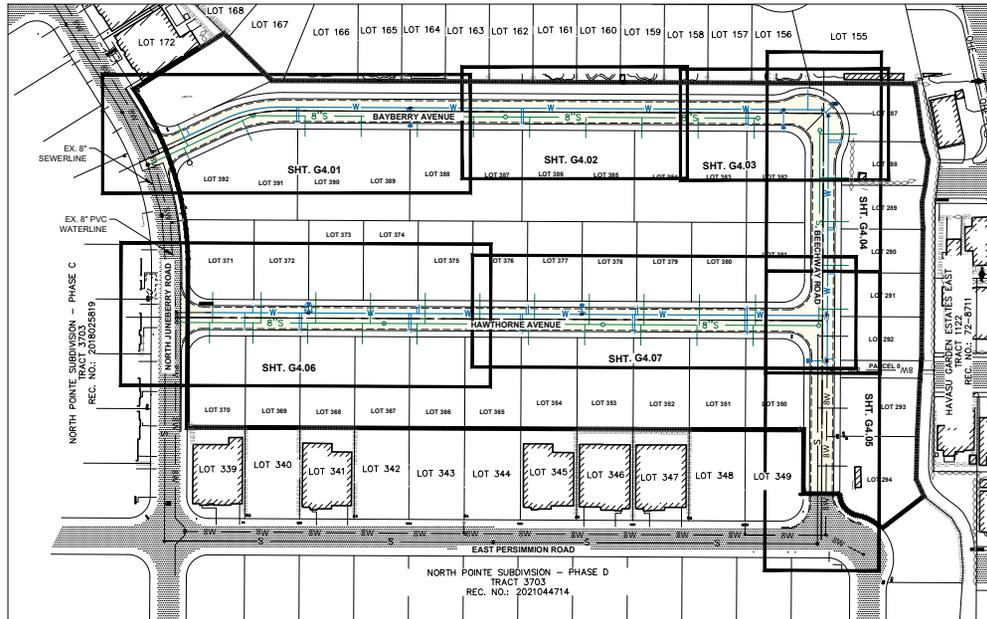
**PUBLIC WORKS DEPARTMENT**  
 MOHAVE COUNTY PUBLIC WORKS  
 3715 SUNSHINE DRIVE  
 KINGMAN, AZ 86409  
 PHONE: 928.757.0910

## SHEET INDEX

SHEET #	SHEET TITLE
G1.01	COVER SHEET
G1.02	GENERAL NOTES
G1.03	ABBREVIATIONS & LEGEND
G2.00	EXISTING CONDITION & DEMOLITION PLAN
G3.01	GRADING PLAN
G3.02	CUT & FILL
G4.01	PLAN & PROFILE (BAYBERRY AVE)
G4.02	PLAN & PROFILE (BAYBERRY AVE)
G4.03	PLAN & PROFILE (BAYBERRY AVE)
G4.04	PLAN & PROFILE (BEECH WAY)
G4.05	PLAN & PROFILE (BEECH WAY)
G4.06	PLAN & PROFILE (HAWTHORN AVE)
G4.07	PLAN & PROFILE (HAWTHORN AVE)
G5.00	DETAILS



VICINITY MAP  
 SCALE: 1" = 2000'



DATE: 04/02/2025 10:20:25 AM BY: IRIS  
A:\PROJECTS\2024\2024-022 - NORTH POINTE PHASE 1\CONSTRUCTION SET\DRAWING AND GRADING PLAN SET\01 - GENERAL NOTES.rvt

GENERAL NOTES

- 1. ALL IMPROVEMENTS SHOWN ON THESE CONSTRUCTION DRAWINGS SHALL BE IMPLEMENTED IN ACCORDANCE WITH MOHAVE COUNTY, MAG, ADOT SPECIFICATIONS AND THE INTERNATIONAL BUILDING CODE (2018 VERSION).
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND OBTAINING ALL NECESSARY PERMITS, COMPLYING WITH ALL TERMS AND CONDITIONS IMPOSED BY THE PERMITTING.
- 3. FLOOD STATEMENT: ACCORDING TO FLOOD INSURANCE RATE MAPS: NO. 190150500N DATED DECEMBER 2, 2015 FOR LAKE HAVASU CITY AND MOHAVE COUNTY, ARIZONA, THIS PROPERTY IS WITHIN ZONE X AND SHADED ZONE X AND HAS A 0.2 PERCENT ANNUAL CHANCE FLOOD HAZARD.
- 4. THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO EACH OF THE FOLLOWING AGENCIES PRIOR TO START OF CONSTRUCTION: LAKE HAVASU CITY (SEWER) - (928) 855-3999; EPCOR (WATER) - (928) 433-4748; SUDGEN, INC. (CABLE) - (928) 208-2012; FRONTIER COMMUNICATION (TELEPHONE) - (928) 757-0273; UNISOURCE ENERGY SERVICES (ELECTRIC) - (928) 681-8928; UNISOURCE ENERGY SERVICES (GAS) - (928) 681-6903.
- 5. PRIOR TO BIDDING THE WORK AND/OR START OF CONSTRUCTION, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO ACTUAL SITE CONDITIONS AND EARTHWORK QUANTITIES, NO CLAIM SHALL BE MADE AGAINST THE DESIGN ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL, OR RELATIVE.
- 6. THE DESIGN ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO EXECUTE THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- 7. TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY ABUNDANCE LAND SERVICES, LLC. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE, AT HIS EXPENSE, A TOPOGRAPHY SURVEY BY A REGISTERED LAND SURVEYOR.
- 8. ALL APPLICABLE LOCAL, STATE, AND NATIONAL SAFETY CODES AND REQUIREMENTS SHALL BE OBSERVED BY THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL EXERCISE CAUTION AND USE CONSTRUCTION TECHNIQUES TO PROTECT AND PRESERVE EXISTING PERMANENT SURVEY MONUMENTS. ALL MONUMENTS DISTURBED SHALL BE REPLACED AND/OR REHABILITATED IN ACCORDANCE WITH STANDARDS BY A PROFESSIONAL LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 10. EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. CONTRACTORS SHALL VERIFY SIZE, LOCATION, MATERIAL, AND ELEVATION OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE DRAWINGS, AS NECESSARY TO ACCOMMODATE PROPOSED CONSTRUCTION.
- 11. THE CONTRACTOR SHALL KEEP SUITABLE EQUIPMENT AT THE JOB SITE FOR MAINTAINING DUST CONTROL AND SHALL CONTROL DUST AS DIRECTED BY THE OWNERS REPRESENTATIVE AND CITY OR COUNTY INSPECTORS.
- 12. NO PROJECT WILL BE CONSIDERED COMPLETE UNTIL ALL CLEAN-UP IS COMPLETE INCLUDING BUT NOT LIMITED TO CURBS, PAVEMENTS AND SIDEWALKS BEING SWEEPED CLEAN OF ALL DIRT AND DEBRIS.
- 13. ANY WORK AND MATERIAL NOT IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 14. ALL TRAFFIC CONTROL SHALL BE INSTALLED ACCORDING TO THE GOVERNING AUTHORITIES REQUIREMENTS AND THE LATEST EDITION OF THE MUTCD. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE WORK. ALL DEVICES SHALL BE IN GOOD REPAIR AND MEET THE PERFORMANCE REQUIREMENTS OF THE MUTCD.
- 15. NO CHANGES TO THE SET OF IMPROVEMENT PLANS APPROVED FOR CONSTRUCTION WILL BE ALLOWED UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE ENGINEER OF RECORD OR OWNER AND PROPOSED CHANGES SUBMITTED TO MOHAVE COUNTY FOR REVIEW AND RE-ACCEPTANCE.
- 16. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE APPROVED PLANS ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- 17. REMOVAL AND REPLACEMENT QUANTITIES ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES AND SITE VISITS.
- 18. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER. GENERAL NOTES (CONT.)
- 19. THE ENGINEER HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE AS-BUILT SERVICES. THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE PROFESSIONAL TO EQUIP ALL NECESSARY AS-BUILT INFORMATION TO ENABLE ALL FINAL APPROVALS, INSPECTIONS, AND CERTIFICATES FROM ALL NECESSARY JURISDICTIONS.
- 20. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE DESIGN ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.

SITE EARTHWORK NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CLEARING, STRIPPING, GRUBBING, TREE MOVES, AND STUMPING WITHIN AREAS OF NEW IMPROVEMENTS. ALL CLEARING AND WASTE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY AT CONTRACTORS EXPENSE. THE CONTRACTOR SHALL DETERMINE OF MATERIAL TO BE REMOVED, SUCH AS TREES, STUMPS, AND STRIPPING. ALL TREES AND NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS SHALL BE RETAINED AND PROTECTED. AREAS UNDERLYING STRUCTURAL IMPROVEMENTS INCLUDED, BUT NOT LIMITED TO PAVEMENT, CURB, AND SIDEWALK SHALL BE STRIPPED OF BANDES OF EXISTING MATERIAL OR AS DETERMINED BY THE ENGINEER.
- 2. ALL EXCESS EXCAVATED CUT MATERIAL SHALL BE STOCKPILED ON SITE AS DIRECTED BY THE ENGINEER. ANY STOCKPILED MATERIAL FROM EXCAVATION SHALL BE REMOVED FROM COUNTRY RIGHT-OF-WAY, EASEMENTS, AND DRAINAGE WAYS.
- 3. AN ON-SITE GRADING PERMIT IS REQUIRED.
- 4. A SEPARATE PERMIT IS REQUIRED FOR ANY OFF-SITE CONSTRUCTION.
- 5. STAKING PAD AND/OR FINISHED FLOOR ELEVATIONS ARE THE RESPONSIBILITY OF THE DEVELOPER. IN A CRITICAL DRAINAGE AREA (FEMA ZONES A, AO, AH, A1-A33, AND A99) CERTIFICATION OF THE FINISHED BUILDING FLOOR OR STEM WALL ELEVATION SHALL BE SUBMITTED AND APPROVED PRIOR TO ANY VERTICAL CONSTRUCTION, IN NON CRITICAL AREAS, THE ENGINEER WILL SUBMIT CERTIFICATIONS OF CONSTRUCTION BUILDING PAD ELEVATIONS PRIOR TO THE COUNTY'S ACCEPTANCE OF PROJECT.
- 6. THE CONTRACTOR SHALL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED IN ACCORDANCE WITH ADEQ'S GENERAL AZPDES STORM WATER PERMIT REQUIREMENTS.
- 7. THE GRADING CONTRACTOR SHALL DESIGNATE THE LOCATION FOR WASTING SPOIL MATERIALS AND A LETTER FROM THE OWNER GRIVING PERMISSION FOR SAID DISPOSAL PRIOR TO STARTING ON-SITE CONSTRUCTION.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTH OF ALL THE EXISTING UTILITY LINES THROUGH PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN AS A RESULT OF CONFLICT WITH UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CONTACT THE COUNTY AND DESIGN ENGINEER AND REQUEST MODIFICATION OF THE BASIN DESIGN.
- 9. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH COUNTY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS AND SHALL BE KEPT AT THE CONSTRUCTION SITE. SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS WHICH ARE FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- 10. THE CONTRACTOR IS HEREBY ADVISED THAT NO PERSON SHALL USE ANY MECHANICAL EQUIPMENT FOR LAND LEVELING OR CLEARING, ROAD CONSTRUCTION, TRENCHING, EXCAVATING, DEMOLITION OR ENGAGE IN ANY EARTHMOVING ACTIVITY WITHOUT FIRST OBTAINING A PERMIT.
- 11. PRIOR TO THE CONTRACTOR REQUESTING A FINAL GRADING INSPECTION, THE SOILS ENGINEER MUST PROVIDE A SEALED LETTER TO THE BUILDING DEPARTMENT STATING THAT ALL CONDITIONS OF THE GEOTECHNICAL REPORT HAVE BEEN COMPLIED WITH.
- 12. ALL GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFY THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- 13. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS. ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 12 INCHES IN ANY DIMENSION SHALL NOT BE INCLUDED IN FILLS.
- 14. ALL FILL MATERIAL SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D1557, MODIFIED PROCTOR, IN LIFTS NOT EXCEEDING 12 INCHES IN DEPTH.

STORMWATER RUNOFF MANAGEMENT

- 1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF MOHAVE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- 2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNRESOLVED EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES GUIDANCE MANUAL.
- 3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS POSSIBLE AND NOT LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY. REFER TO ARIZONA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY.
- 4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE ARIZONA STORMWATER GENERAL PERMIT FOR CONSTRUCTION

CONSTRUCTION NOTES

(THESE NOTES ARE NOT ALL-INCLUSIVE. ALL WORK MUST COMPLY WITH MOHAVE COUNTY AND MAG CONSTRUCTION SPECIFICATIONS.)

- ACTIVITIES.
- 5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN THE BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1. SOIL DISTURBANCE SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- 2. SOIL EROSION AND SEDIMENTATION CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- 3. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- 4. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED.
- 5. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSIT AND RUNOFF.

SITE PAVING NOTES

- 1. ALL PLACEMENT OF ASPHALT SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATIONS, SECTION 321 UNLESS OTHERWISE NOTED.
- 2. CONFORM TO ADOPTED MOHAVE COUNTY STANDARD SPECIFICATION AND DETAILS AS IT APPLIES TO USE WITH COUNTY ROADWAY PROJECTS.
- 3. ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN BASE COURSE SURFACE IS APPROVED AND ACCEPTED BY THE ENGINEER AND WHEN THE ATMOSPHERIC TEMPERATURE IN THE SHADE IS 40 DEGREES F. AND RISING.
- 4. EXACT POINT OF MATCHING, TERMINATION AND OVERLAY, IF NECESSARY, MAT BE DETERMINED IN THE FIELD AS DIRECTED BY THE ENGINEER.
- 5. ASPHALT MIX DESIGN SHALL BE SUBMITTED TO ENGINEER AND MOHAVE COUNTY FOR APPROVAL TWO WEEKS BEFORE INTENDED USE.
- 6. ALL PAVEMENT STRIPING SHALL BE IN ACCORDANCE WITH MUTCD STANDARDS AND SPECIFICATIONS.
- 7. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LATEST MOHAVE COUNTY DETAILS.

CONSTRUCTION QUANTITIES

ROADWAY IMPROVEMENTS			
	ITEM DESCRIPTION	UNIT	QUANTITY
1	SUBGRADE PREPARATION	SY	8.803
2	6" AGGREGATE BASE COURSE	SY	8.803
3	3" ASPHALT PAVEMENT	SY	7.776
4	TYPE D CURB AND GUTTER	LF	4.622
6	FOG SEAL	SY	7.776
9	STOP SIGNS	EA	2

- REVISIONS:
- 1. 07/16/2025 PER COUNTY COMMENTS
- 2. 07/24/2025 PER COUNTY COMMENTS



GENERAL NOTES  
NORTH POINTE SUBDIVISION - PHASE "F"  
MOHAVE COUNTY

DESIGNER: MFB  
DRAWN BY: MFB



PROJECT NO.  
2024-022

SHEET NO.  
G1.02  
02 of 14



CIVIL ABBREVIATIONS		CIVIL ABBREVIATIONS	
ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION
A	AND	INV	INVERT
@	AT	KGV	KNIFE GATE VALVE
AB	ABANDONED	LB	POUND OR POUNDS
ABS	ACRYLONITRILE BUTADIENE STYRENE	LF	LINEAR FEET
ACP	ASBESTOS CEMENT PIPE	LT	LEFT
ADDM	ADDENDUM	MAX	MAXIMUM
ADJ	ADJACENT	ME	MATCH EXISTING
AGGR	AGGREGATE	MFG	MANUFACTURER
ALT	ALTERNATE	MH	MANHOLE
APPR	APPROACH	MIN	MINIMUM
APPROX	APPROXIMATE	MJ	MECHANICAL JOINT
AR MH	AIR RELEASE MANHOLE	N	NORTH
ARV	AIR RELEASE VALVE	NO	NUMBER
AS	ASPHALT SURFACE	NTS	NOT TO SCALE
ASSY	ASSEMBLY	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	OD	OUTSIDE DIAMETER
AVE	AVENUE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
BFV	BUTTERFLY VALVE	P/L	PROPERTY LINE
BH	BORE HOLE	PC	POINT OF CURVATURE
BITUM	BITUMINOUS	PCC	PLAIN CEMENT CONCRETE
BK	BACK	PE	PLAIN END
BLV	BALL VALVE	PEL	PERMANENT EASEMENT LINE
BO	BLOW-OFF VALVE	PI	POINT OF INTERSECTION
BOA	BEGINNING OF ALIGNMENT	PLV	PLUG VALVE
BOP	BEGINNING OF PROJECT	POLY	POLYETHYLENE
C&G	CURB AND GUTTER	POT	POTABLE
CL	CENTERLINE	PRV	PRESSURE REDUCING VALVE
CB	CATCH BASIN	PSI	POUNDS PER SQUARE INCH
C-C	CENTER TO CENTER	PT	POINT OF TANGENCY
COE	CONTROLLED DENSITY FILL	PUE	PUBLIC UTILITY EASEMENT
CEL	CONSTRUCTION EASEMENT LINE	PVC	POLYVINYL CHLORIDE
CF	CUBIC FEET	R or RAD	RADIUS
CI	CURB INLET	RCCP	REINFORCED CONCRETE CYLINDER PIPE
CIP	CAST IRON PIPE	RCCSE	REINFORCED CONCRETE END SECTION
CMP	CORRUGATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
CO	CLEANOUT	RDL	ROOF DRAIN LINE
COL	COLLISION	REQD	REQUIRED
CONC	CONCRETE	RES	RESERVOIR
CONSTL	CONSTRUCTION LIMITS	RJ	RESTRAINED JOINT
CONSTR	CONSTRUCTION	ROW	RIGHT-OF-WAY
CS	CONCRETE SURFACE	RR	RAILROAD
CSP	CORRUGATED STEEL PIPE	RT	RIGHT
CSV	CURB STOP VALVE	RW	RAW WATER
CJ	COPPER	RWTM	RAW WATER TRANSMISSION MAIN
CV	CUBIC VOLUME	S	SOUTH
CY	CUBIC YARD	SAN	SANITARY
D or DIA	DIAMETER	SCH	SCHEDULE
DEC	DECANT	SD	STORM DRAIN
DEF	DEFLECTION	SDR	STANDARD DIMENSION RATIO
DI	DUCTILE IRON	SF	SQUARE FEET
DIP	DUCTILE IRON PIPE	SG	SUBGRADE
DR	DRIVE	SHT	SHEET
DRWY	DRIVEWAY	SIM	SIMILAR
DTL	DETAIL	SS	SANITARY SEWER
DWG	DRAWING	SSSL	SANITARY SEWER SERVICE LEAD
E	EAST	ST	STREET
ELEC	ELECTRICAL	STA	STATION
ELEV	ELEVATION	STD	STANDARD
EOA	END OF ALIGNMENT	SY	SQUARE YARD
EOP	END OF PROJECT	TEEL	TEMPORARY EASEMENT LINE
EXIST	EXISTING	TEMP	TEMPORARY
EXT	EXTENSION	TOC	TOP OF CURB
FG	FINISHED GRADE	TOP	TOP OF PIPE
FL	FLOW LINE	TP	TRANSVERSE POINT
FLG	FLANGED	TPI	TRAVERSE POINT OF INTERSECTION
FM	FORCE MAIN	TYP	TYPICAL
FO	FIBER OPTIC	USACE	U.S. ARMY CORPS OF ENGINEERS
FRP	FIBERGLASS REINFORCED PLASTIC	VC	VERTICAL CURVE
FSW	FIRE SERVICE WATER	VCP	VITRIFIED CLAY PIPE
FT	FOOT OR FEET	VERT	VERTICAL
G&S	GROOVE & SHOULDER	VPC	VERTICAL POINT OF CURVATURE
GALV	GALVANIZED	VPI	VERTICAL POINT OF INTERSECTION
GS	GRAVEL SURFACE	VPT	VERTICAL POINT OF TANGENCY
GV	GATE VALVE	VV	VALVE VAULT
HCW	HORIZONTAL COLLECTOR WELL	W	WEST
HDD	HORIZONTAL DIRECTIONAL DRILLING	W/	WITH
HDPE	HIGH DENSITY POLYETHYLENE	WO	WITH OUT
HORIZ	HORIZONTAL	WM	WATER MAIN
HS	HIGH SERVICE	WRF	WATER RECLAMATION FACILITY
HYD	HYDRANT	WSL	WATER SERVICE LEAD
ID	INSIDE DIAMETER	WTF	WATER TREATMENT FACILITY
INCH	INCH OR INCHES	WTP	WATER TREATMENT PLANT
INSUL	INSULATION	WWTF	WASTEWATER TREATMENT FACILITY

**LEGEND**

EXISTING	PROPOSED

REVISIONS:  
 1. 07/16/2025 PER COUNTY COMMENTS  
 2. 07/24/2025 PER COUNTY COMMENTS



**ABBREVIATIONS & LEGEND**  
**NORTH POINTE SUBDIVISION - PHASE "F"**  
 MOHAVE COUNTY

PROJECT:  
 DESIGNER: MFH  
 DRAWN BY: MFH



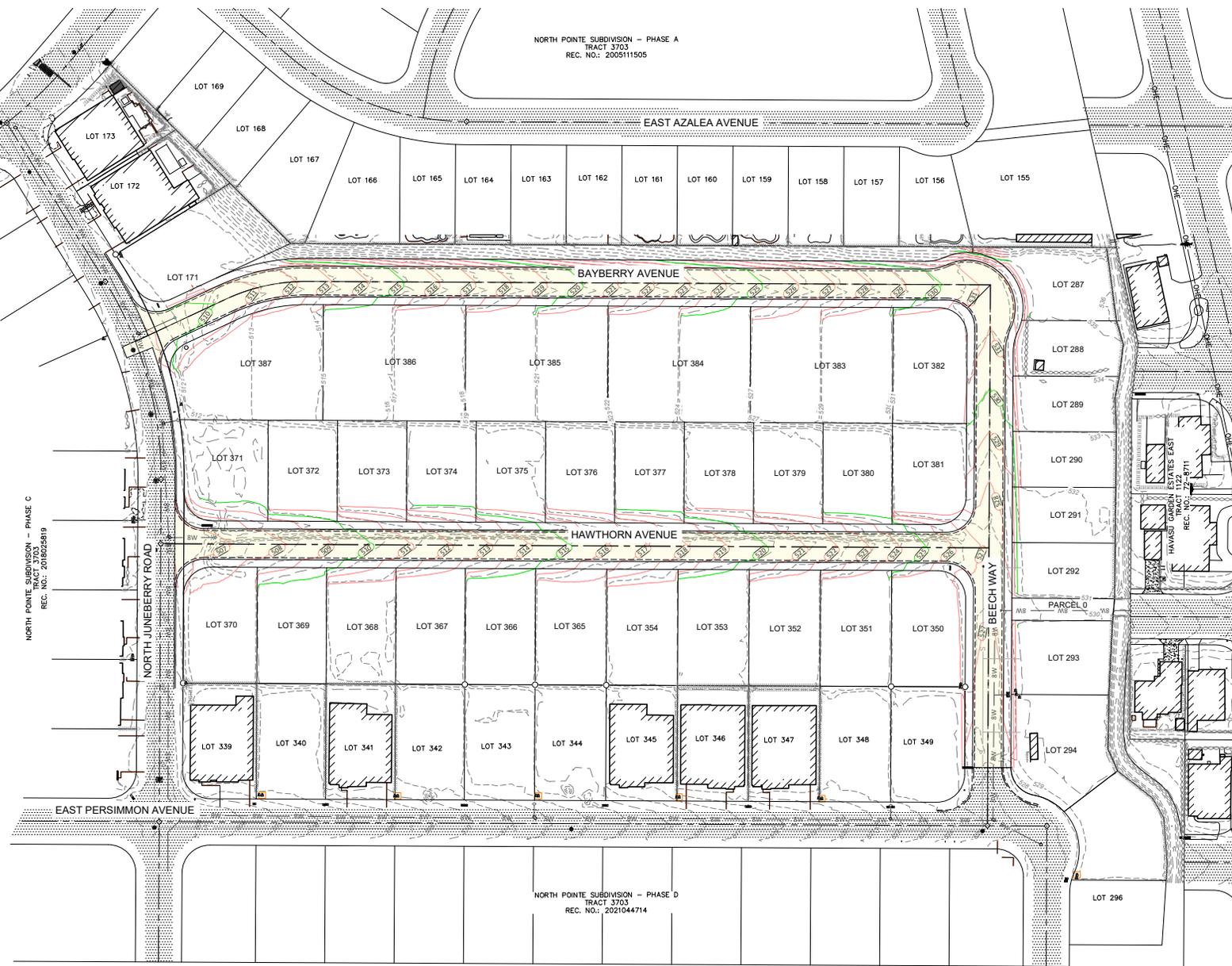
PROJECT NO.  
 2024-022

SHEET NO.  
**G1.03**  
 03 of 14





PROJECT: 2024-022 NORTH POINTE PHASE F SUBTRACT CAD/PAN SET/CONSTRUCTION SET/UTILITY AND GRADING PLAN SET/PANING AND GRADING  
 DATE: 07/16/2024 09:52 AM BY: MFB



**GENERAL NOTES**

- CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.

**GRADING NOTES**

- PERFORM CUTTING AND FILLING TO THE CONTOURS SHOWN. ALL ROUGH GRADES SHALL HAVE POSITIVE DRAINAGE.
- CONTOURS AND CUT/FILL DEPTHS SHOWN ARE OF FINISHED GRADE, TOP OF PAVEMENT, OR TOP OF GRAVEL.

REVISIONS:	
1	07/16/2024 PER COUNTY COMMENTS
2	07/24/2024 PER COUNTY COMMENTS



GRADING PLAN

**NORTH POINTE SUBDIVISION - PHASE "F"**

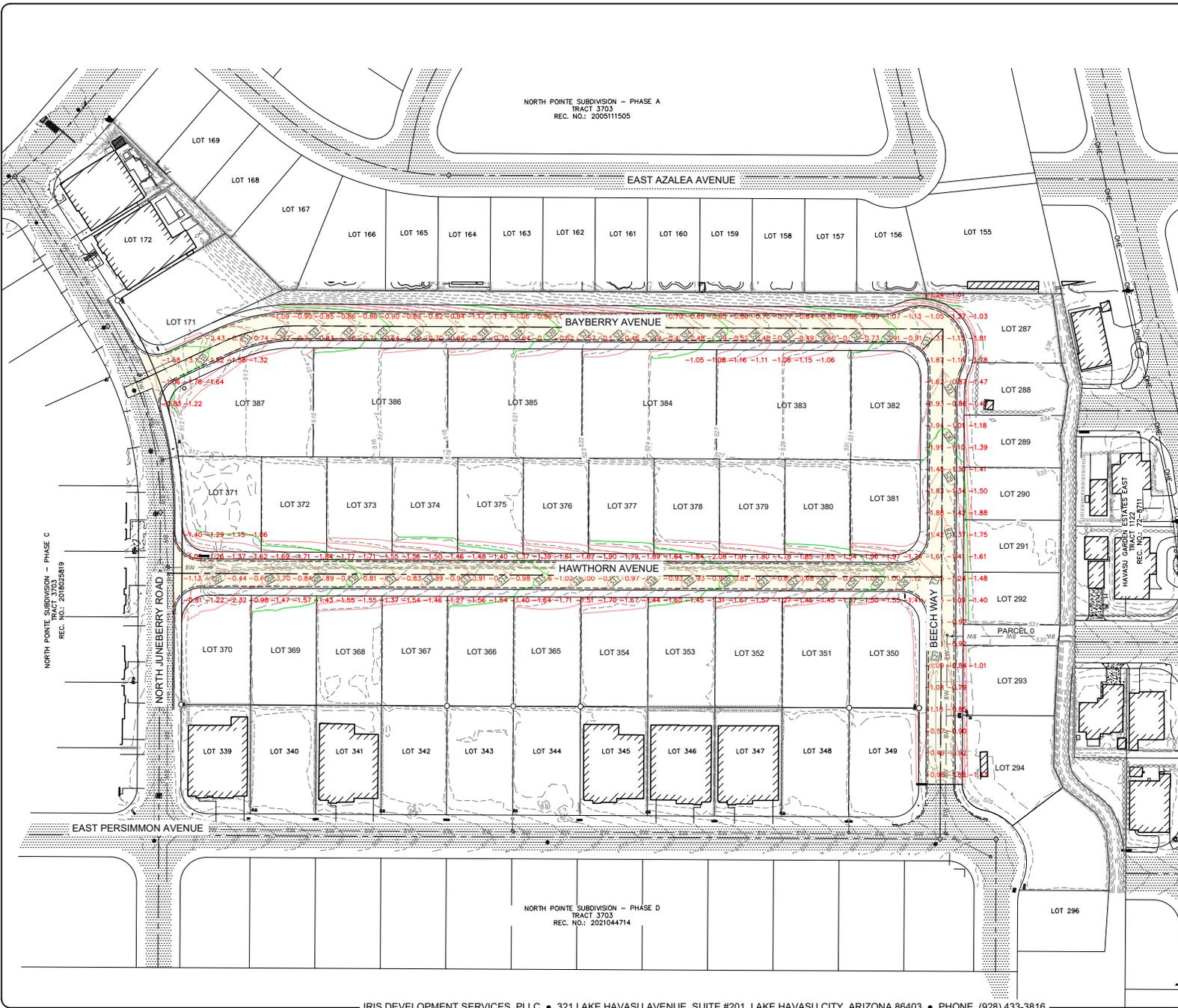
PROJECT: MFB  
DRAWN BY: MFB



PROJECT NO.  
2024-022

SHEET NO.  
**G3.01**  
05 of 14

1. 07/16/2024 PER COUNTY COMMENTS  
 2. 07/24/2024 PER COUNTY COMMENTS  
 IRIS DEVELOPMENT SERVICES, PLLC  
 PROJECT: NORTH POINTE SUBDIVISION - PHASE "F"  
 DESIGNER: MFH  
 DRAWN BY: MFH  
 PROJECT NO. 2024-022  
 SHEET NO. G3.02  
 06 of 14



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**EARTHWORK QUANTITIES**

E1. 1' BELOW FINISH GRADE TO EXISTING GRADE.  
 TOTAL CUT: 7.904 CY  
 TOTAL FILL: 2.0 CY

E2. THE QUANTITIES SHOWN ARE AN ESTIMATE AND MAY NOT REFLECT ACTUAL QUANTITIES OBSERVED DURING CONSTRUCTION. THE CONTRACTOR SHALL PERFORM HIS/HER OWN CALCULATION TO OBTAIN QUANTITIES. ENGINEER TO SPOT CHECK GRADES PRIOR TO CONTRACTOR INSTALLING AGGREGATE AND ASPHALT/CONCRETE. CONTRACTOR TO MAKE ANY EARTHWORK MODIFICATIONS DEEMED NECESSARY BY ENGINEER AND THIS SHALL BE INCIDENTAL TO THE BID PRICE.

REVISIONS:

1.	07/16/2024 PER COUNTY COMMENTS
2.	07/24/2024 PER COUNTY COMMENTS

**IRIS DEVELOPMENT SERVICES, PLLC**

**CUT & FILL**

**NORTH POINTE SUBDIVISION - PHASE "F"**

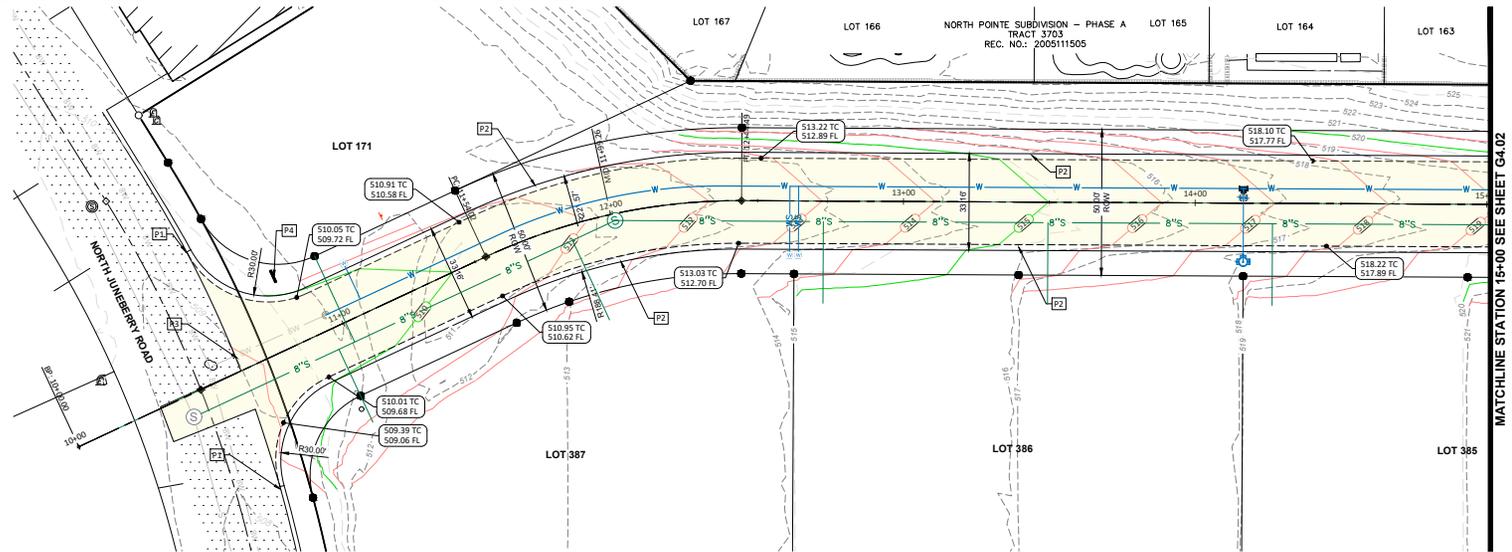
MOHAVE COUNTY

DESIGNER: MFH  
DRAWN BY: MFH

PROJECT NO. 2024-022

SHEET NO. **G3.02**  
06 of 14

LAST UPDATED: 07/16/2024 8:25 AM BY: MFB



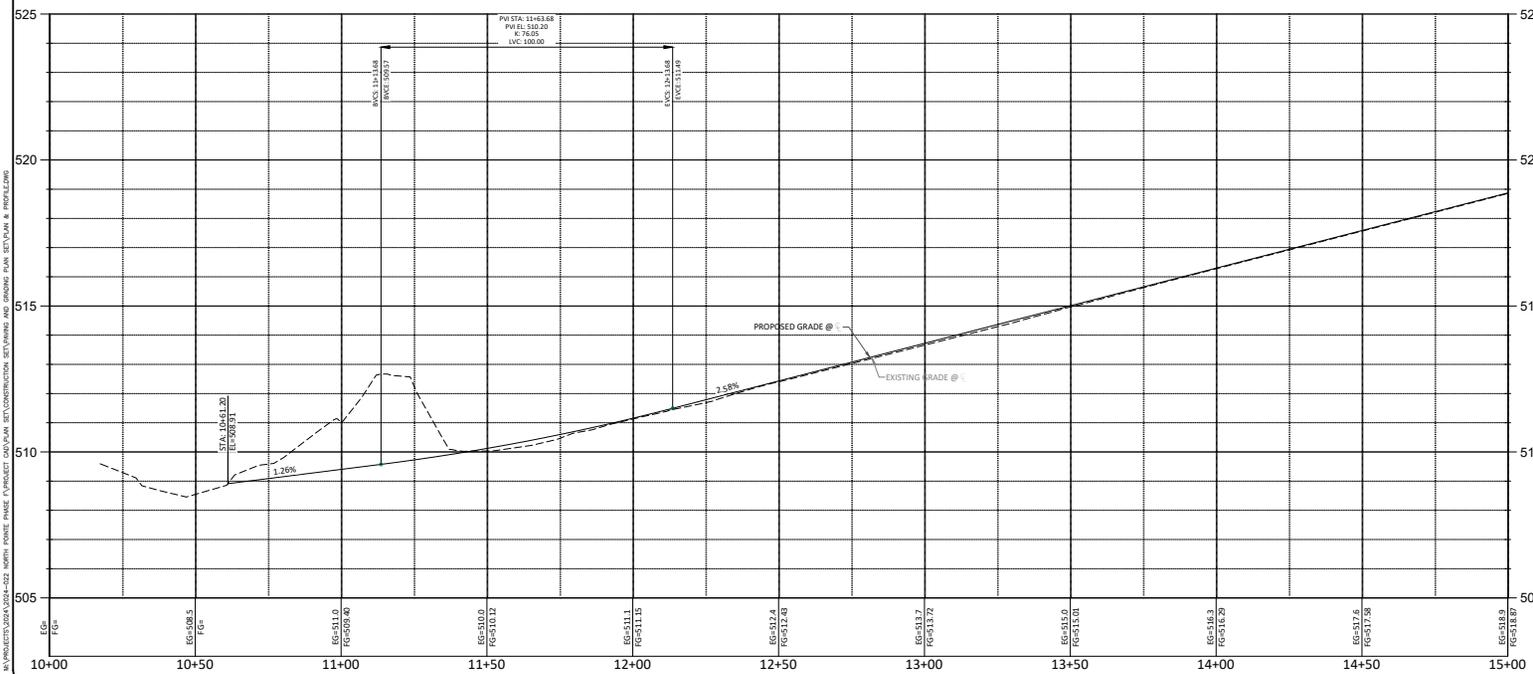
# BAYBERRY AVENUE

- ### CONSTRUCTION NOTES
- P1. CONSTRUCT S TRANSITION FROM TYPE 'A' CURB & GUTTER TO TYPE 'D' CURB & GUTTER AS PER MAG DTL 221.
  - P2. CONSTRUCT CURB & GUTTER PER MAG STD DTL 220, TYPE 'D'.
  - P3. SAW-CUT EXIST SURFACING BACK A MINIMUM OF 2" TO CREATE SMOOTH EDGE. APPLY TACK COAT AND MEET WITH NEW SURFACING.
  - P4. INSTALL STREET NAME AND STOP SIGN PER MOHAVE COUNTY STD DTL 131 & 132.

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- ### PAVING NOTES
- SUB-BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
  - STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
  - PRIOR TO INSTALLING BITUMINOUS PAVING CONTRACTOR IS TO PROOF-ROLL SUB-BASE USING HEAVY, PNEUMATIC-TIRED ROLLERS TO LOCATE AREAS THAT ARE UNSTABLE OR THAT REQUIRE FURTHER COMPACTION. NOTIFY CONSTRUCTION MANAGER IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING INSTALLATION UNTIL THESE CONDITIONS HAVE BEEN SATISFACTORILY CORRECTED.
  - CONCRETE COLLAR IS REQUIRED FOR ALL STRUCTURES IN PAVEMENT.
  - ALL SEDIMENTATION IN PAVEMENT SHALL BE ADJUSTED TO FINISH GRADE ABOVE PAVING.

MATCHLINE STATION 16+00 SEE SHEET G4.02



IRIS DEVELOPMENT SERVICES, PLLC • 321 LAKE HAVASU AVENUE, SUITE #201, LAKE HAVASU CITY, ARIZONA 86403 • PHONE (928) 433-3816

REVISIONS:

1	07/16/2024	PER COUNTY COMMENTS
2	07/24/2024	PER COUNTY COMMENTS



PLAN & PROFILE (BAYBERRY AVE)  
 NORTH POINTE SUBDIVISION - PHASE "F"  
 MOHAVE COUNTY

PROJECT: MFB  
 MFB



PROJECT NO. 2024-022

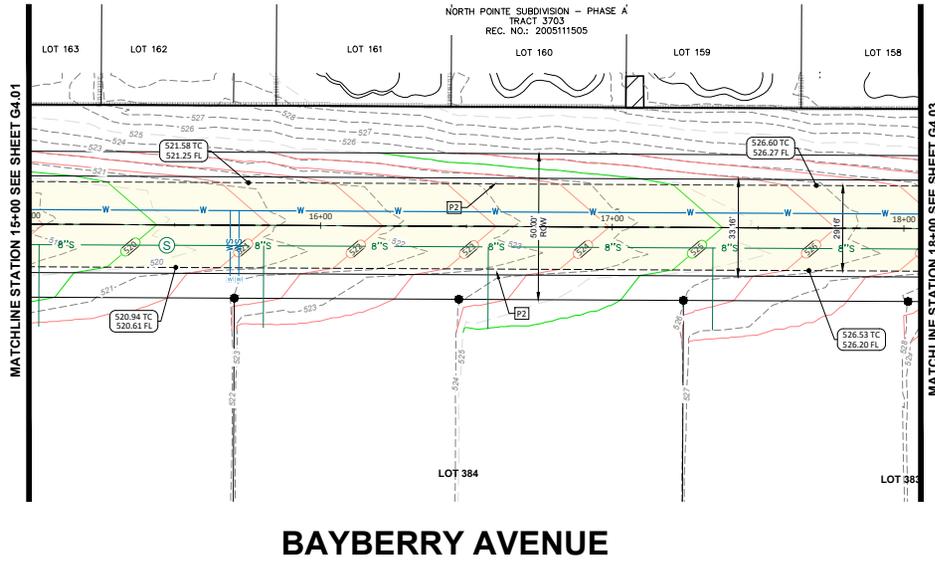
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07 of 14

Scale in Feet:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: 1" = 2'

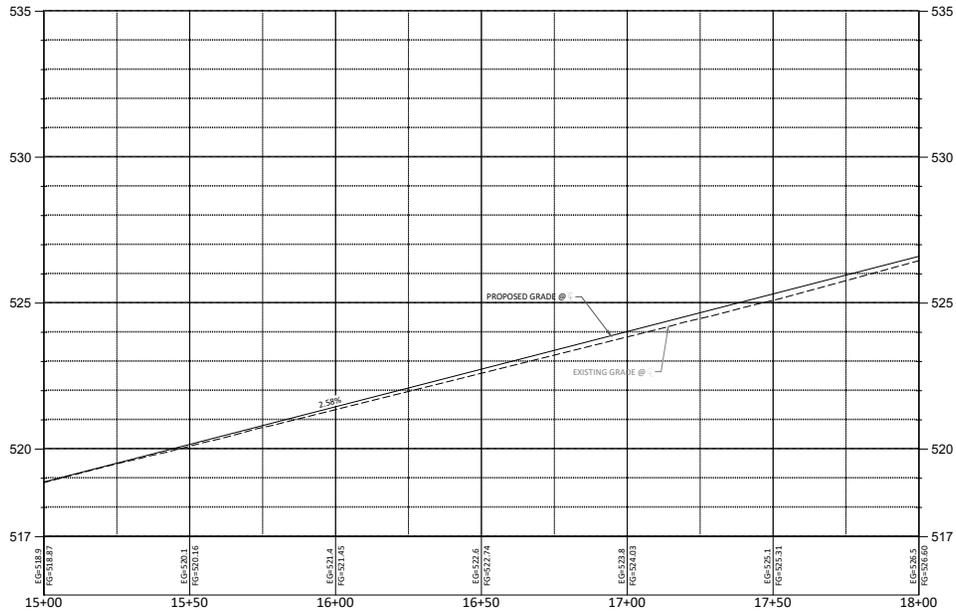
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LAST MODIFIED: 07/16/2025 9:25 AM BY: #103

PROJECT: 2024-022-022 NORTH POINTE PHASE F PROJECT CIVILIAN SET/CONSTRUCTION SET/PAVING AND DRAINAGE PLAN SET/PLAN & PROFILES



### BAYBERRY AVENUE



IRIS DEVELOPMENT SERVICES, PLLC • 321 LAKE HAVASU AVENUE, SUITE #201, LAKE HAVASU CITY, ARIZONA 86403 • PHONE (928) 433-3816

#### CONSTRUCTION NOTES

- P1. CONSTRUCT 5' TRANSITION FROM TYPE 'A' CURB & GUTTER TO TYPE 'D' CURB & GUTTER AS PER MAG DTL 221
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PLAN & PROFILE (BAYBERRY AVE)

NORTH POINTE SUBDIVISION - PHASE "F"

MOHAVE COUNTY

PROJECT:

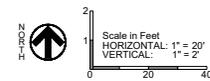
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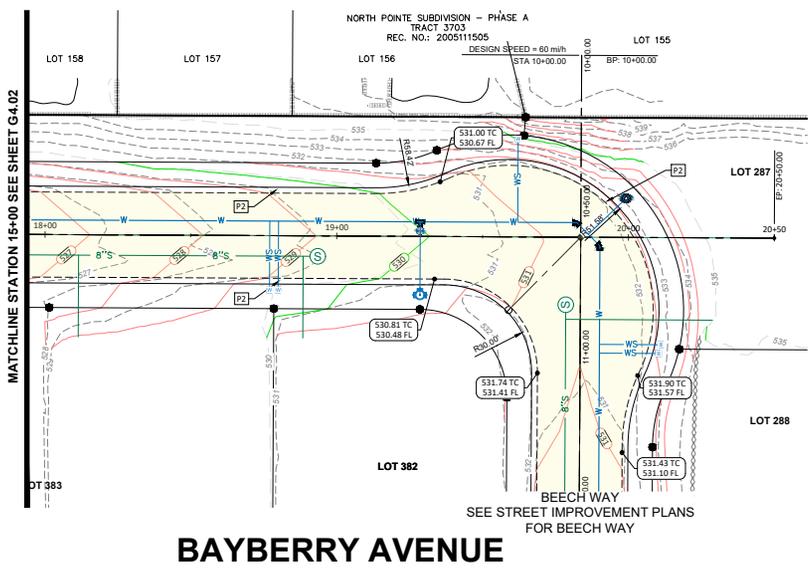
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2024-022

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**G4.02**

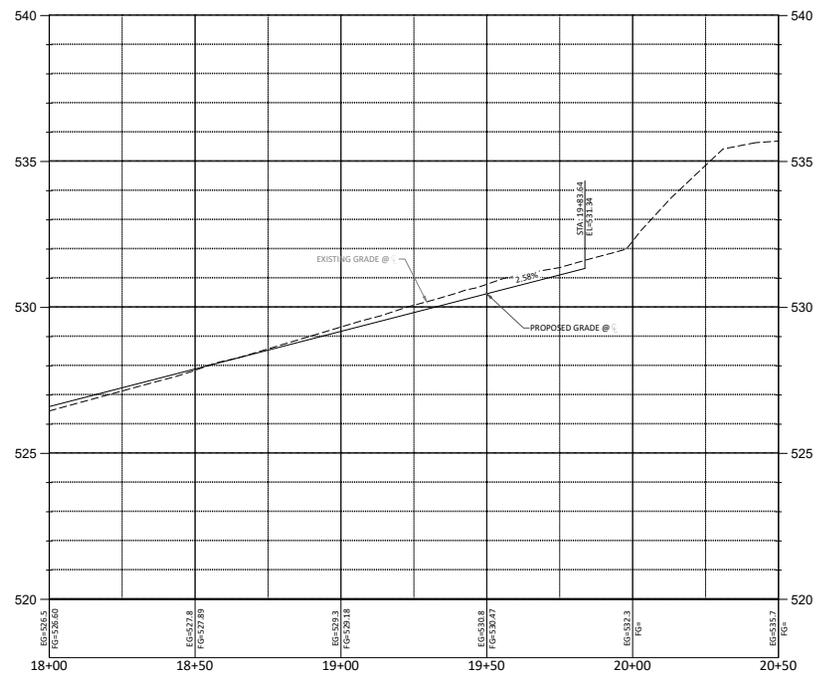
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## BAYBERRY AVENUE



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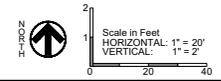
**PLAN & PROFILE (BAYBERRY AVE)**  
**NORTH POINTE SUBDIVISION - PHASE "F"**  
 PROJECT:

DESIGNER: MFH  
DRAWN BY: MTH



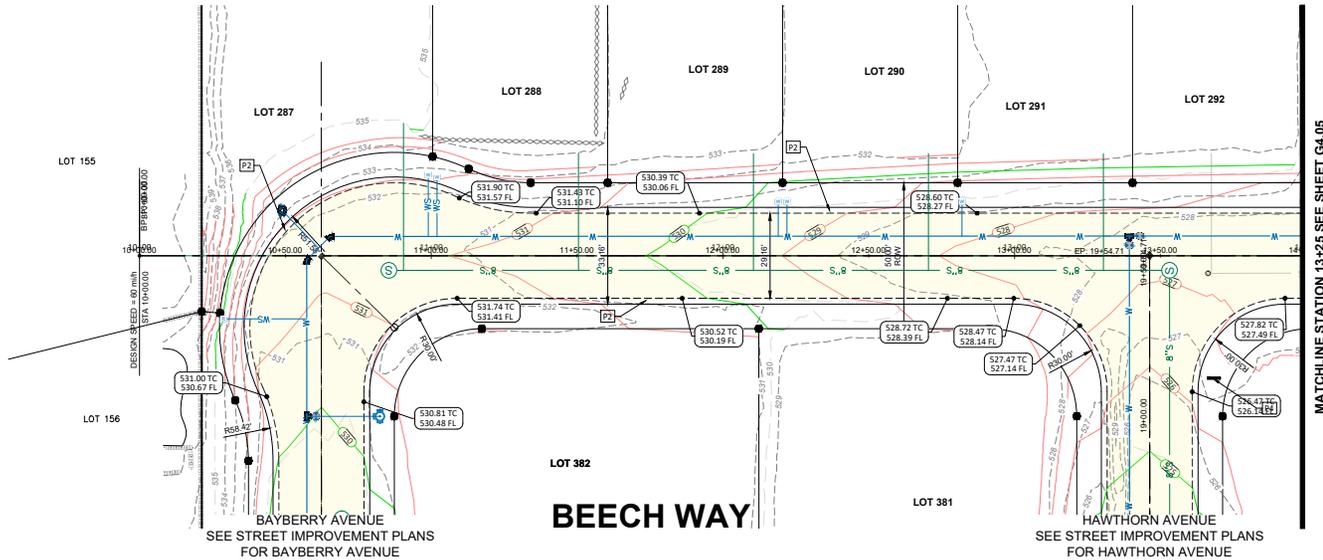
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2024-022

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**G4.03**  
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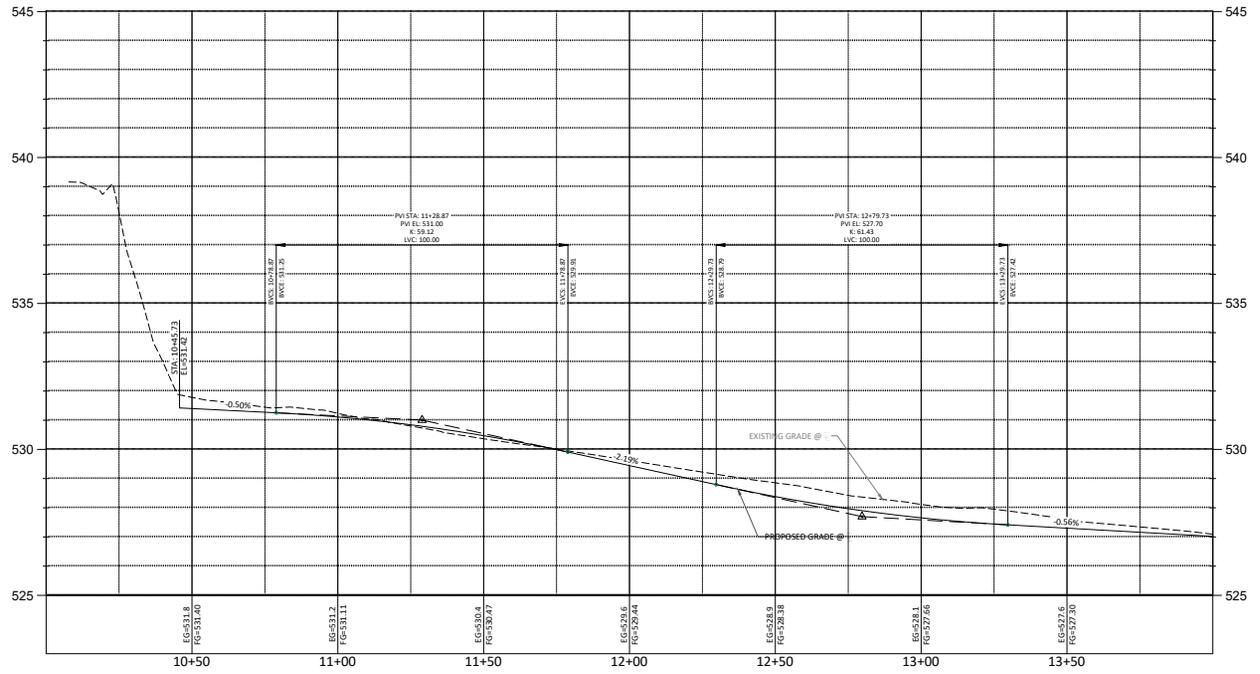
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  - ALL SEDIMENT IN PAVEMENT SHALL BE ADJUSTED TO FINISH GRADE ABOVE PAVING.



REVISIONS:

1	07/16/2025	PER COUNTY COMMENTS
2	07/24/2025	PER COUNTY COMMENTS



PLAN & PROFILE (BEECH WAY)  
NORTH POINTE SUBDIVISION - PHASE "F"  
MOHAVE COUNTY

DESIGNER: MFH  
DRAWN BY: MTH

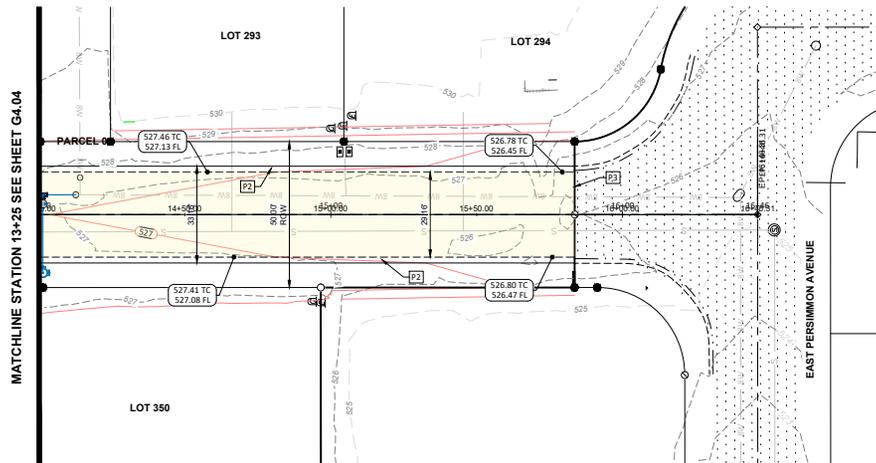


PROJECT NO.  
2024-022

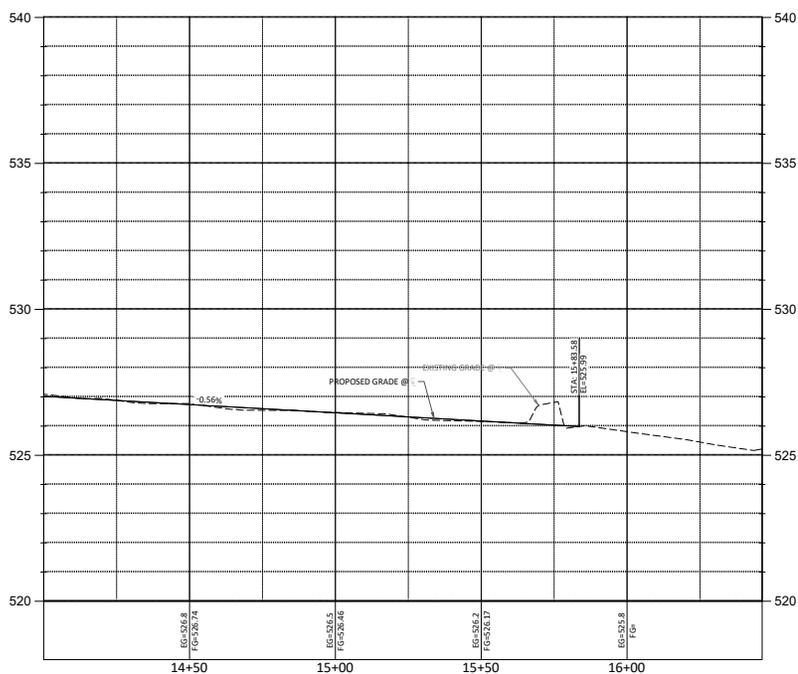
SHEET NO.  
**G4.04**  
10 of 14

LAST SHARED 7/16/2025 9:25 AM BY #85

PROJECTS/2024/2024-022 NORTH POINTE PHASE 1/PROJECT DRAWING SET/CONSTRUCTION SET/PAVING AND DRAINING PLAN SET/DRAW & PROFILE/PLANS



### BEECH WAY



#### CONSTRUCTION NOTES

- P1. CONSTRUCT 5' TRANSITION FROM TYPE 'A' CURB & GUTTER TO TYPE 'D' CURB & GUTTER AS PER MAG DTL 221
- P2. CONSTRUCT CURB & GUTTER PER MAG STD DTL 220, TYPE 'D'
- P3. SAW-CUT EXIST SURFACING BACK A MINIMUM OF 2' TO CREATE SMOOTH EDGE. APPLY TACK COAT AND MEET WITH NEW SURFACING.
- P4. INSTALL STREET NAME AND STOP SIGN PER MOHAVE COUNTY STD DTL 131 & 132.

#### GENERAL NOTES

1. CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.

#### PAVING NOTES

- 1. SUB-BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
- 2. STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
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REVISIONS:

1	07/16/2025	PER COUNTY COMMENTS
2	09/24/2025	PER COUNTY COMMENTS



PLAN & PROFILE (BEECH WAY)  
 NORTH POINTE SUBDIVISION - PHASE "F"  
 PROJECT: MOHAVE COUNTY

DESIGNER: MFH  
 DRAWN BY: MTH



PROJECT NO.  
 2024-022

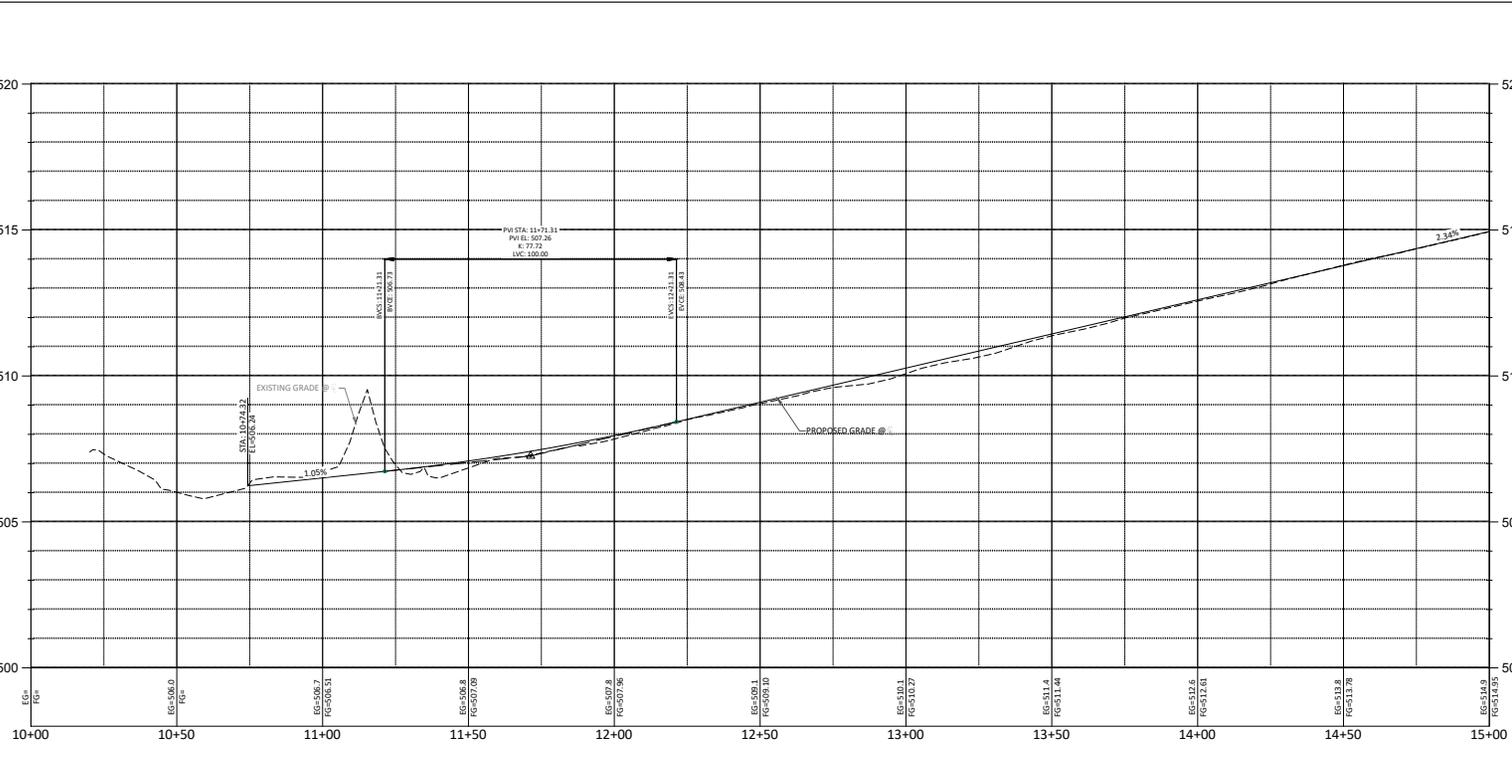
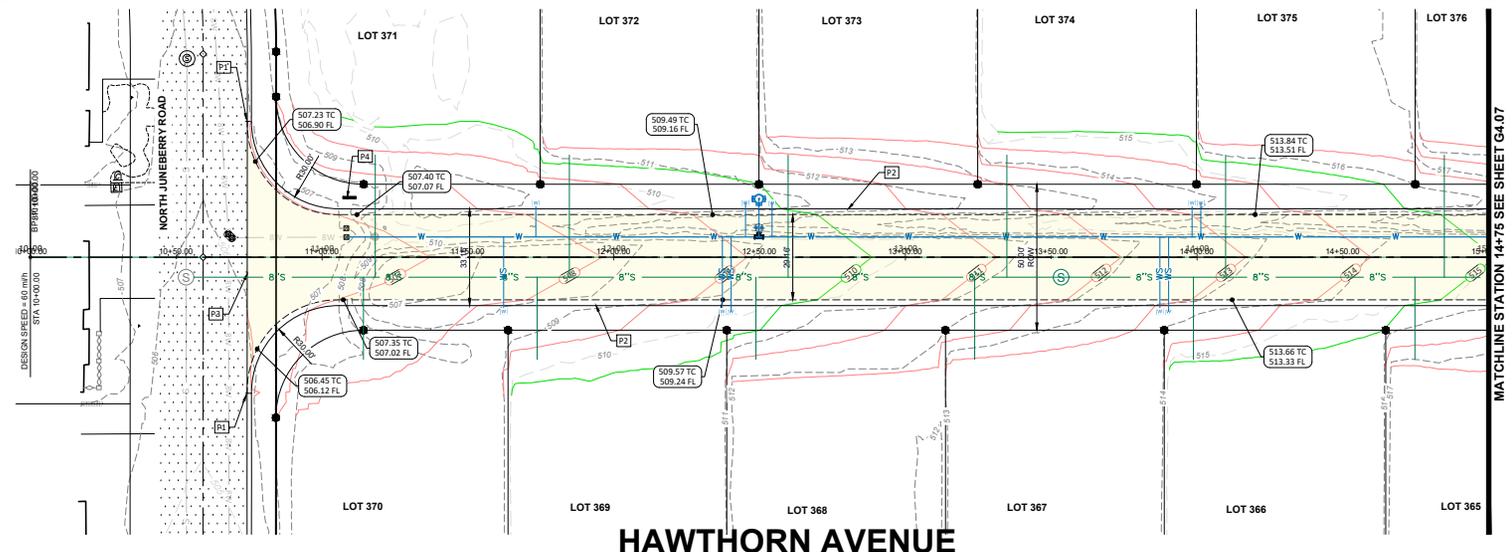
SHEET NO.  
**G4.05**

11 of 14

Scale in Feet  
 HORIZONTAL: 1" = 20'  
 VERTICAL: 1" = 2'

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- CONSTRUCTION NOTES**
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REVISIONS:

1	07/16/2025	PER COUNTY COMMENTS
2	07/24/2025	PER COUNTY COMMENTS



**PLAN & PROFILE (HAWTHORN AVE)**

**NORTH POINTE SUBDIVISION - PHASE "F"**

PROJECT: MFB / MTH



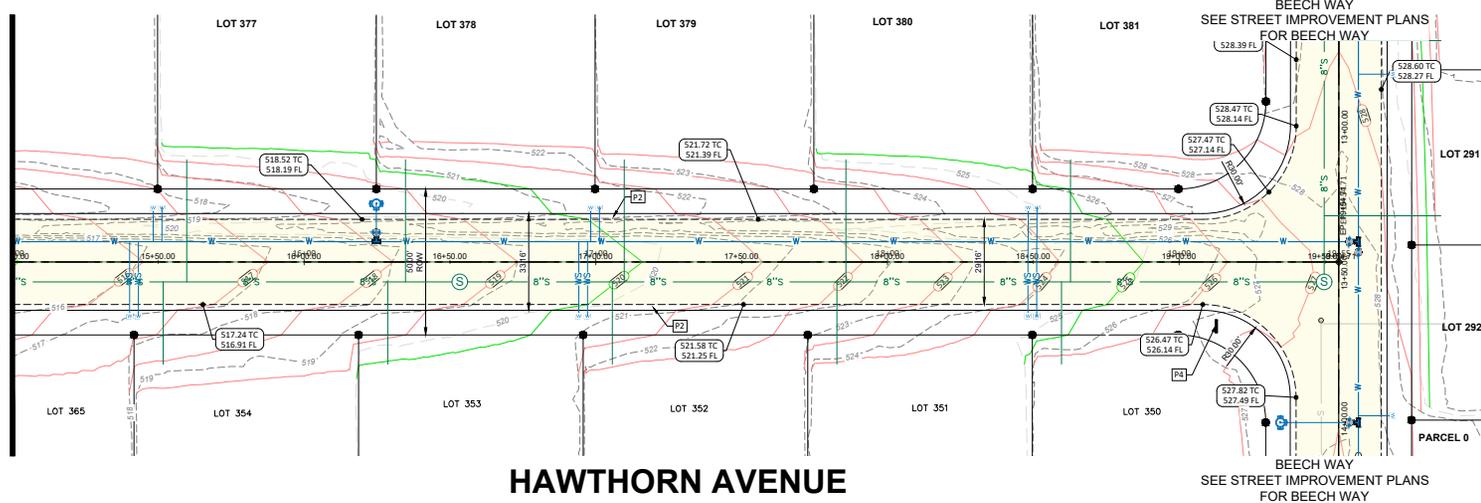
PROJECT NO.  
2024-022

SHEET NO.  
**G4.06**

12 of 14

LAST REVISED 07/16/2025 9:25 AM BY: MFS

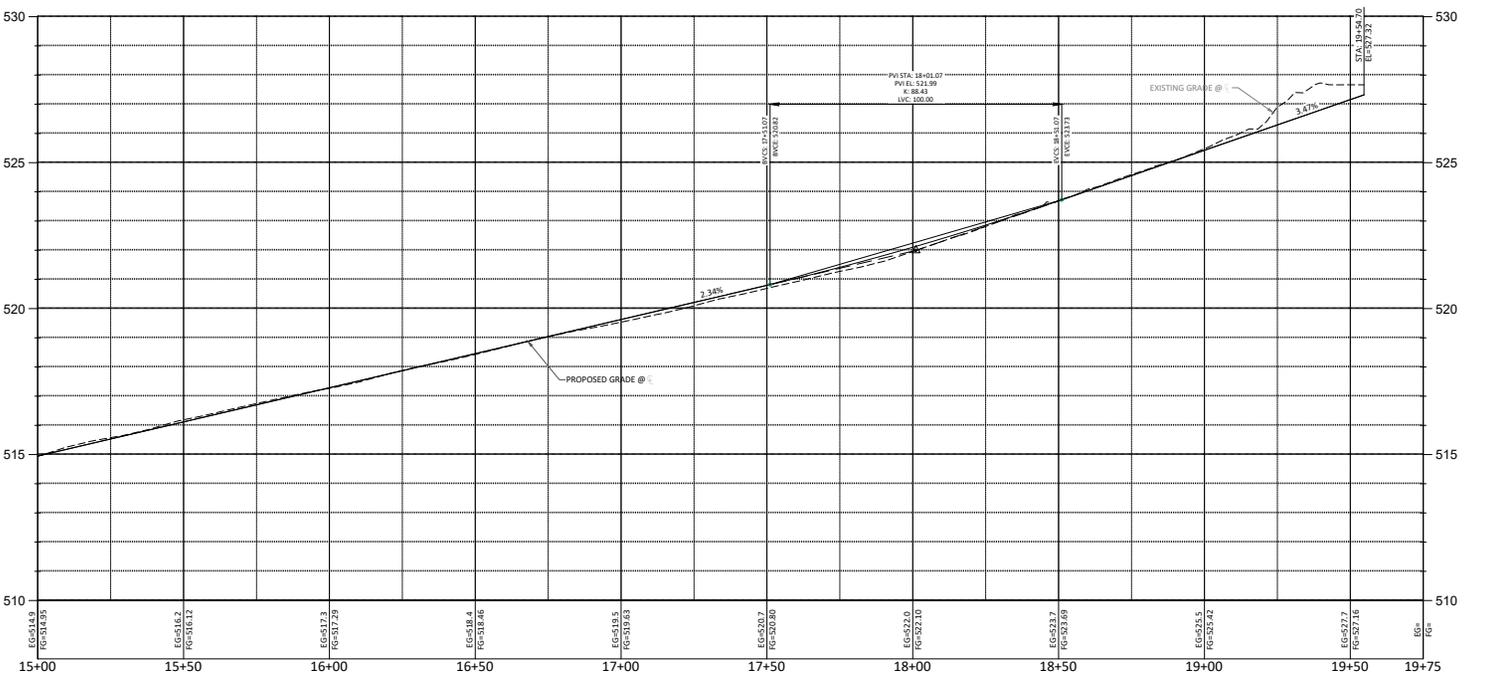
MATCHLINE STATION 14+75 SEE SHEET G4.06



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IRIS DEVELOPMENT SERVICES, PLLC • 321 LAKE HAVASU AVENUE, SUITE #201, LAKE HAVASU CITY, ARIZONA 86403 • PHONE (928) 433-3816

REVISIONS:

1	07/16/2025	PER COUNTY COMMENTS
2	09/24/2025	PER COUNTY COMMENTS



**PLAN & PROFILE (HAWTHORN AVE)**  
**NORTH POINTE SUBDIVISION - PHASE "F"**  
 PROJECT:

DESIGNER: MFH  
DRAWN BY: MTH



PROJECT NO.  
2024-022

SHEET NO.  
**G4.07**  
13 of 14

Scale in Feet  
 HORIZONTAL: 1" = 20'  
 VERTICAL: 1" = 2'

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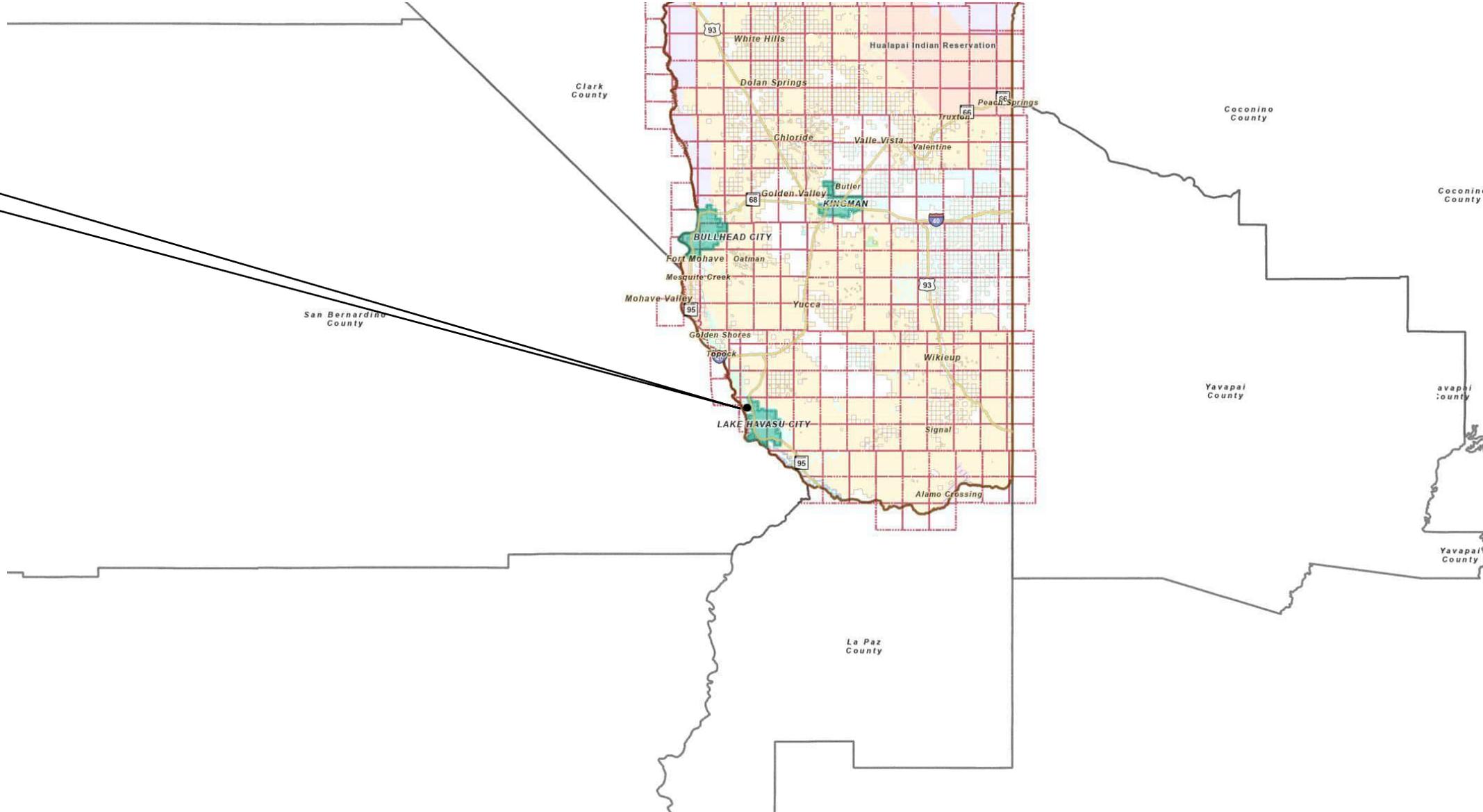
# PETITION OF EXCEPTION NORTH POINTE 3703

## GENERAL MAP

PETITION OF EXCEPTION for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity.

Section 17  
T 14 N, R 20 W

Subject  
Property



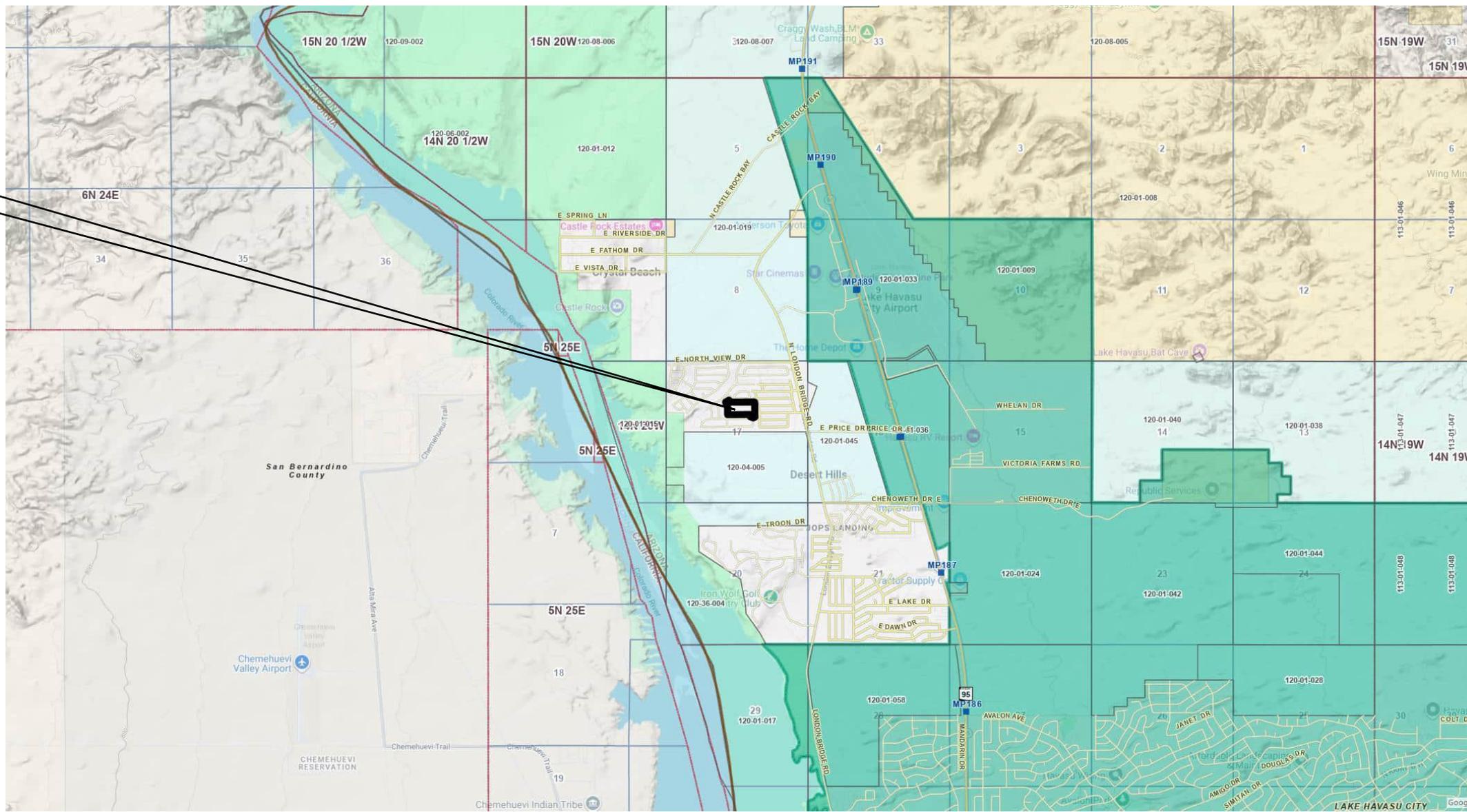
# PETITION OF EXCEPTION NORTH POINTE 3703

## VICINITY MAP

PETITION OF EXCEPTION for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity.

Section 17  
T 14 N, R 20 W

Subject  
Property

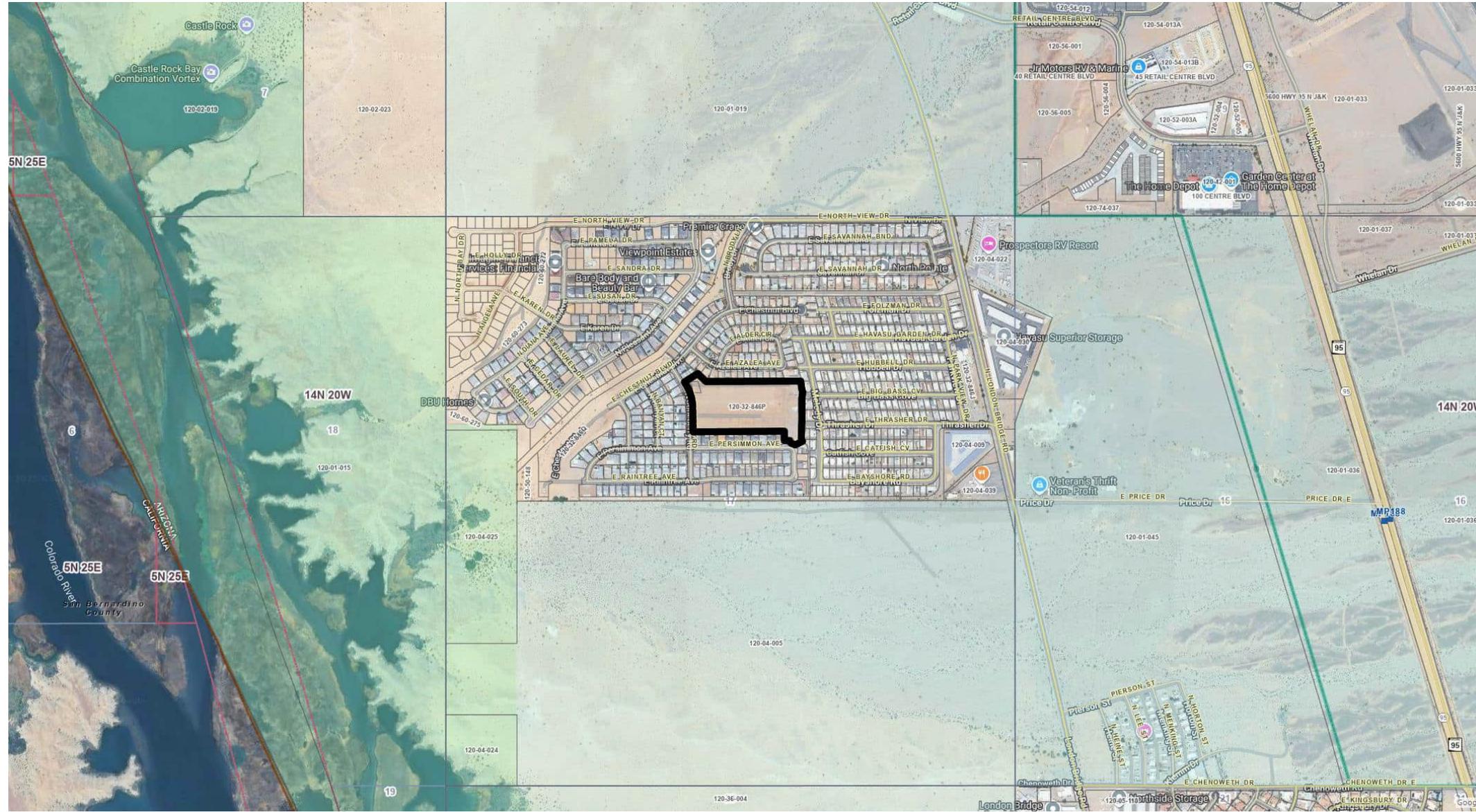


# PETITION OF EXCEPTION NORTH POINTE 3703

## SITE MAP

PETITION OF EXCEPTION for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity.

Section 17  
T 14 N, R 20 W



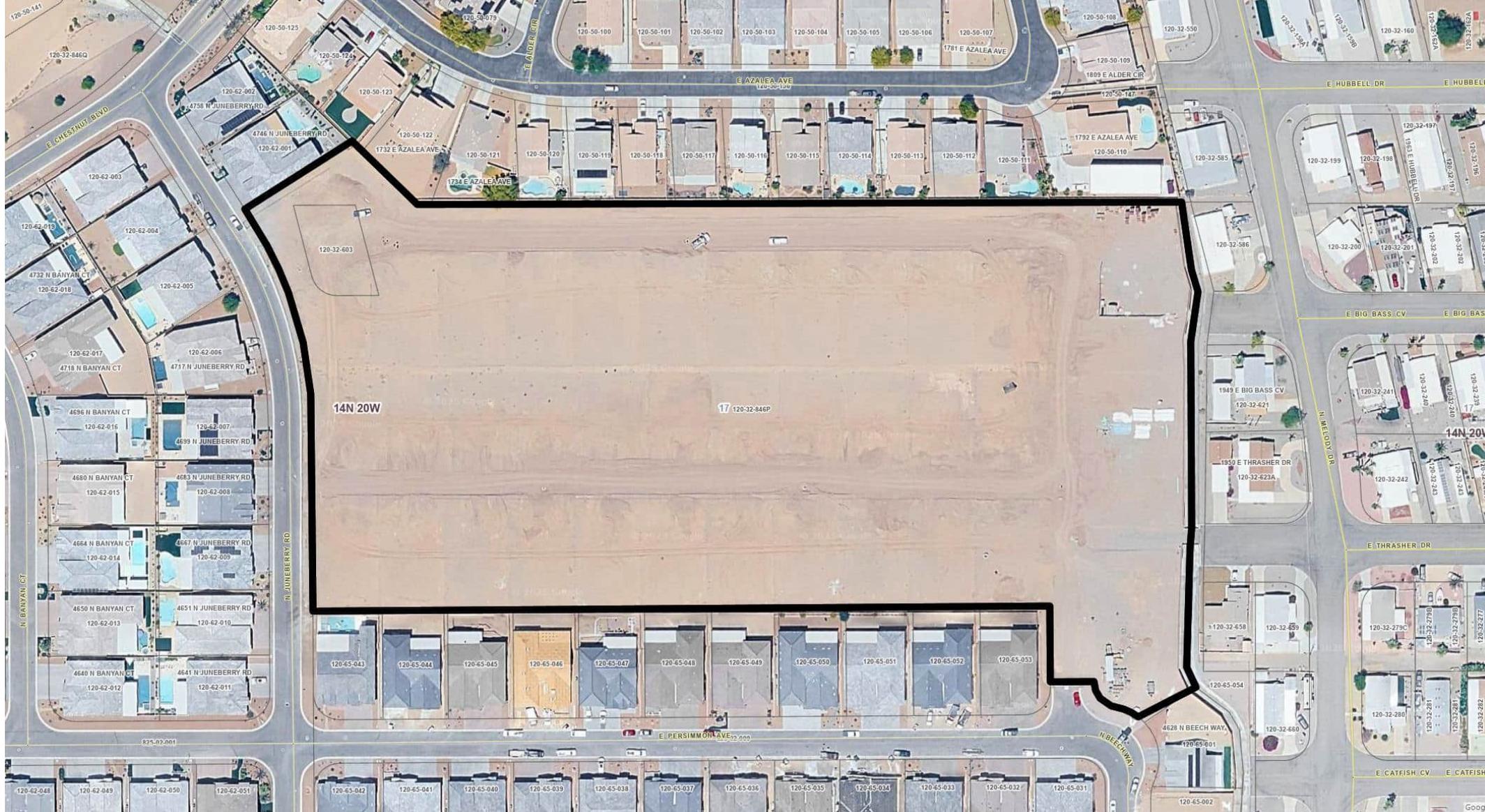




# PETITION OF EXCEPTION NORTH POINTE 3703 REQUEST

PETITION OF EXCEPTION for North Pointe Subdivision, Tract 3703, to not require sidewalks or streetlights to match the existing platted lots within the subdivision, for Assessor's Parcel Nos. 120-32-846P and -603, in the Lake Havasu City vicinity.

Section 17  
T 14 N, R 20 W







**ZONING  
NOTICE**

NOTICE TO THE PUBLIC: This site is a proposed development project. The project is subject to the zoning regulations of the City of Phoenix. The project is currently in the process of obtaining the necessary permits and approvals. The project is expected to be completed by the end of the year. The project will be a significant addition to the community and will provide many jobs and services. The project is a great example of the City of Phoenix's commitment to growth and development. The project is a great example of the City of Phoenix's commitment to growth and development. The project is a great example of the City of Phoenix's commitment to growth and development.

03. **Evaluation of a request for a REZONE of Assessor's Parcel No. 229-22-029D from a C-2H (Highway Commercial) zone to a C-MO (Commercial-Manufacturing/Open Lot Storage) zone, to allow for a storage facility in the Fort Mohave vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to rezone the above-described property, as requested by Michael Simms and Bertha Loza, of Kingman, Arizona.

Assessor's Parcel No. 229-22-029D is described as Le Clair Subdivision S 110' of N 220' NE1/4 Lot 11, located in Section 15, Township 19 North, Range 22 West.

The site is approximately .80 acres and is located west of State Highway 95 and south of Valencia Road. The site is accessed directly from State Highway 95 approximately .20 miles south of milepost 239.

The site appears to be vacant. The terrain appears flat. The surrounding land uses consists of commercial sites, vacant land and scattered single family residences.

The applicant requests this rezone from a C-2H (Highway Commercial) zone to a C-MO (Commercial-Manufacturing/Open Lot Storage) zone to allow for a storage facility. The Mohave County General Plan designates this site as General Commercial.

The site is in Fort Mojave Mesa Fire District. Electric, water and sewer services appear to be available. State Highway 95 is paved and is on the Arizona Department of Transportation road maintenance system.

A review of FEMA FIRM Panel #04015C-4763J indicates the parcel described to be in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning and uses similar to the above-proposed action.
- e. The site appears to have legal access via paved roads.
- f. There are no environmental features affecting the site.
- g. Electric, water and sewer services appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to C-MO (Commercial-Manufacturing/Open Lot Storage).
2. A site plan, prepared in accordance with Section 37.N (Site Plan Requirements), must be completed prior to the approval of permits and before establishing the use of the commercial lot. In addition, the applicant may be required to provide a view-obscuring fence, if required by Section 37.N of the Mohave County Zoning Ordinance, prior to establishing the use.
3. The appropriate permits will be obtained prior to construction.
4. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.
5. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 22922029D Current Zoning: C-2H (BTOC2) Parcel Size 1/2 Acres

Legal Description:

Section: 15 Township: 19N Range: 22W T19N R22W  
Sec 15 LE Claire Subdivision S 110' of N 220' NE 4 LOT 11

Water Provider: NONE Electric provider: NONE Sewer provider: NONE

Present use of property: NONE

## Owner Information

Owner Name(must match current deed): Michael L. Simms & Bertha Alvarez Loza

Mailing Address: 3941 N. Aurora Vista Ln. City: Kingman State: Az Zip: 86409

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: ZONED at C-MO LOT Storage

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

Property Storage

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

Bertha Alvarez  
Michael L. Simms

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from C-2H  
to C-MO for the purpose of Storage.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

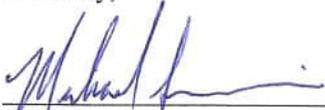
Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,



Applicant / agent

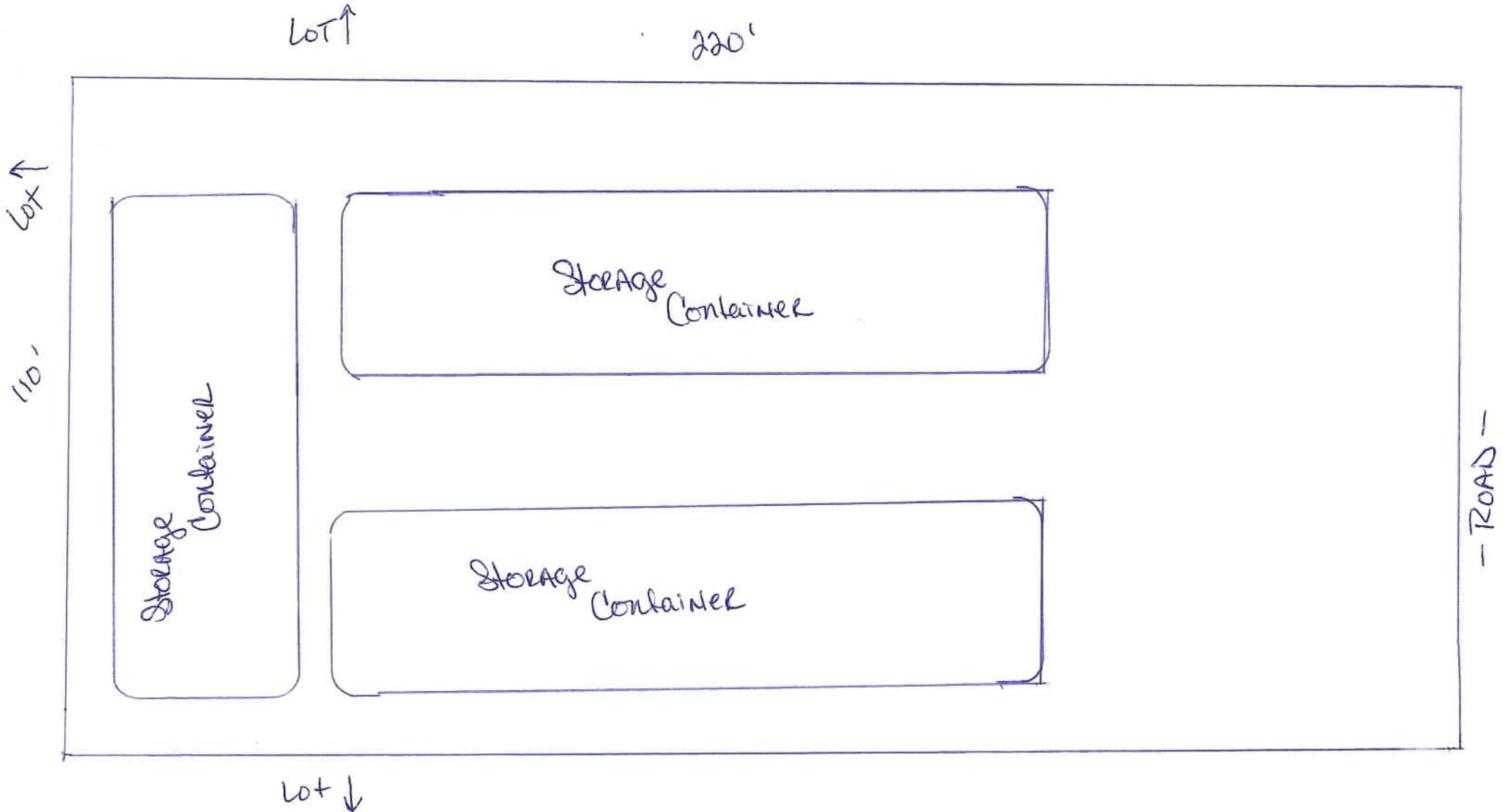
Contact information:

Michael Simms  
3941 N. Aurora Vista Ln  
Kingman, Az 86409

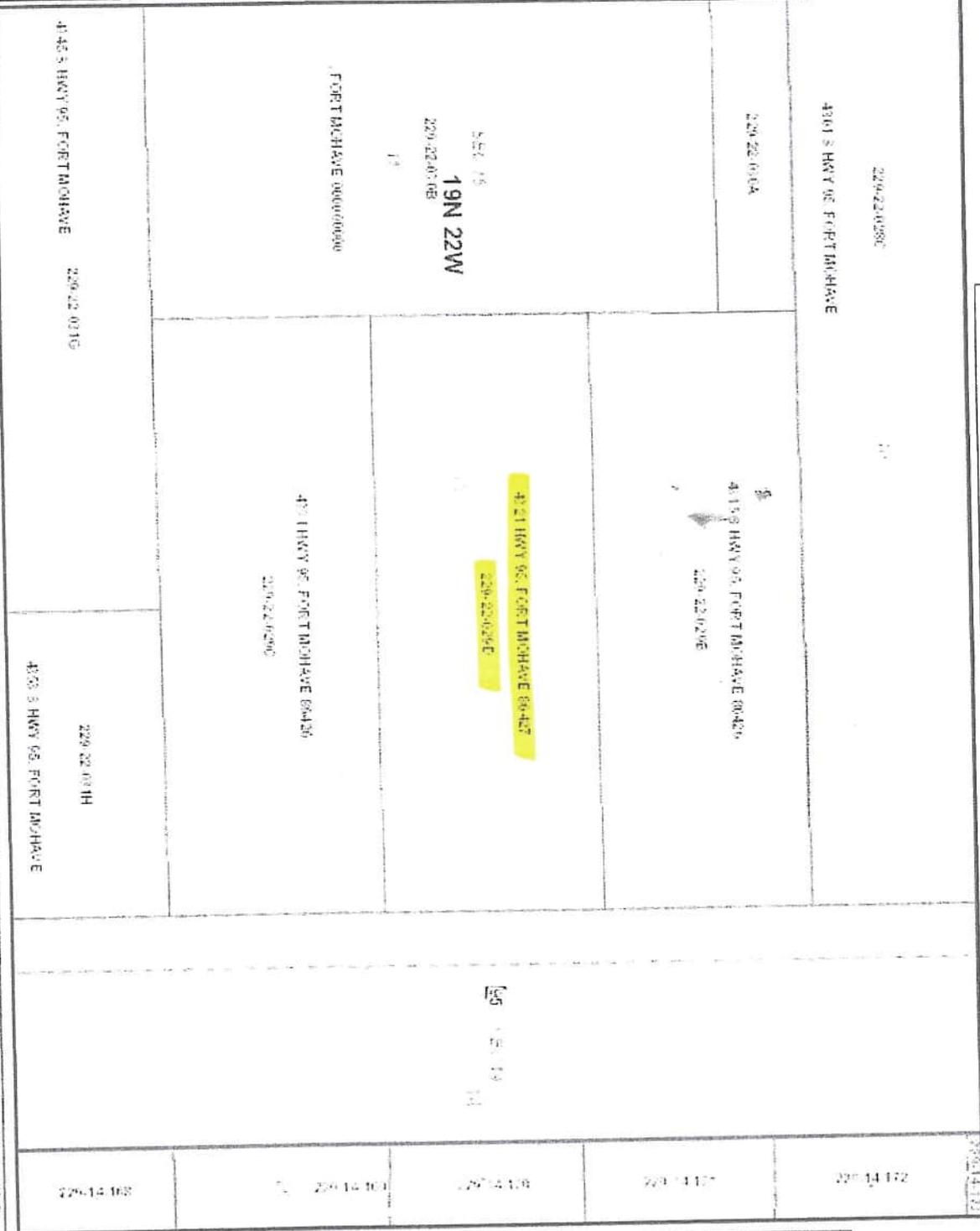
Assessor Parcel Number and Legal Description of proposed subject property: P# 229-22-029D

Section: 15 Township: 19N Range: 22W T19N R22W  
Sec 15 LE Claire Subdivision S110' of N 220' NE4 LOT 11  
Physical Address: 4321 S. Hwy 95 Fort Mohave, Az. 86426

4321 S. Hwy 95 FORT MOHAVE, Ariz 86426  
Sec 15 TOWNSHIP 19N Range 22W  
T19N R22W SEC 15 LECIAIR Subdivision  
NE4 LOT 11



# Interactive Map Viewer



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(approximate scale)

Map Created: 12/10/2020

This map is a user generated static output from the Mohave County Information Map Viewer and is for general reference only. Data layers that appear on this map may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION, AS A LEGAL DOCUMENT, FOR PROPERTY DESCRIPTIONS, OR DEED INFORMATION. The user agrees to comply with the limitation of use, and assumption of risk as stated in the full disclaimer at <http://gis.mohavecounty.us>



**Legend**

- ADOT Mileposts
- COUNTY Mileposts
- Sign Post Erials
- Calculated Measure
- Highways
- Main Arterials
- Collectors
- Local
- Railroad
- Blocks
- Lots
- City Limits (<1:120K)
- County Boundary
- Surrounding Counties
- Township/Range
- Section
- Surface Management
- Bureau of Land Management
- Bureau of Reclamation
- County
- Indian Lands
- Local or State Parks
- Military
- National Parks Service
- Other
- Private
- State

**Notes:**

1:1,116



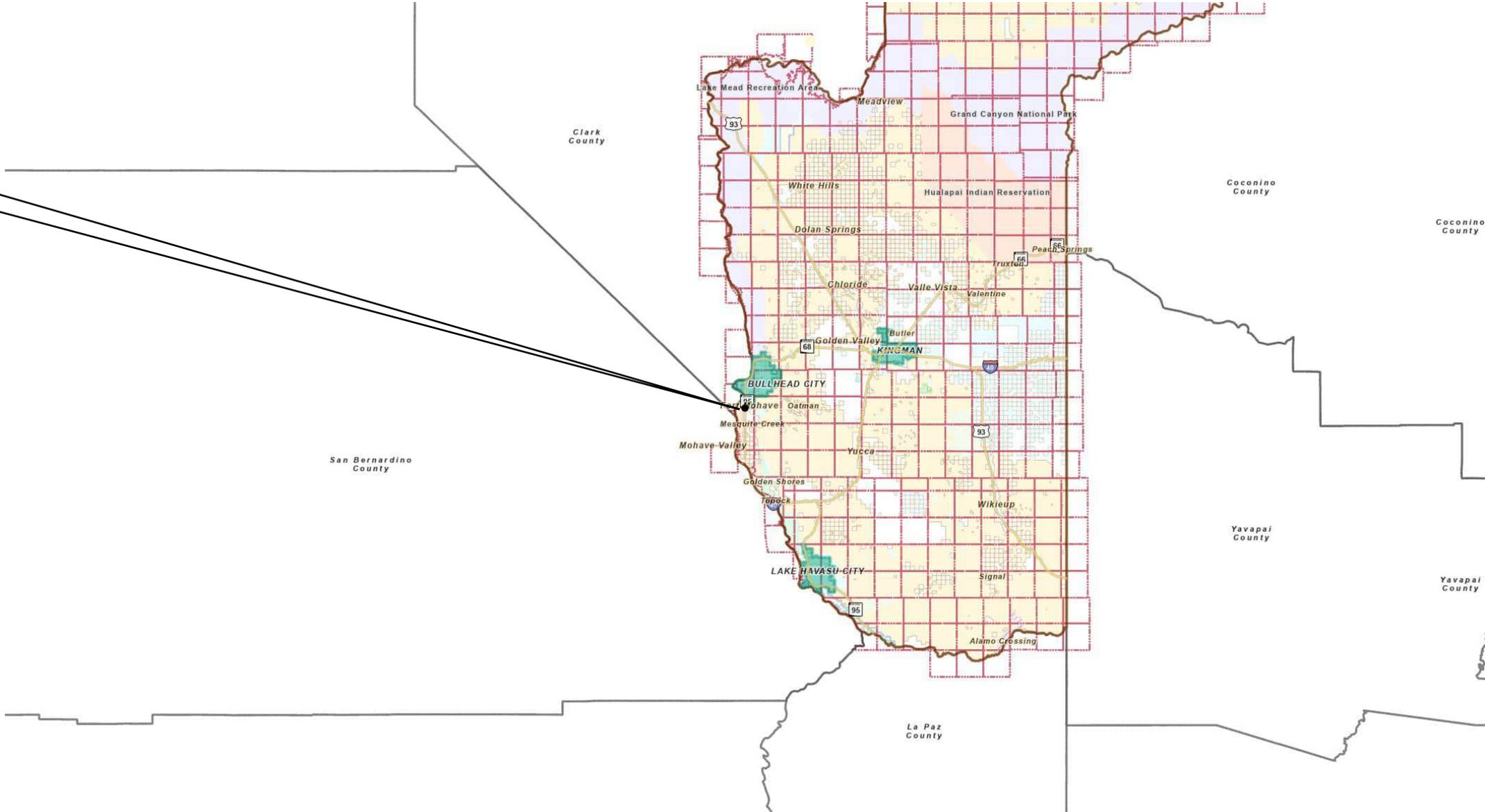
# REZONE 229-22-029D

## GENERAL MAP

REZONE of Assessor's Parcel No. 229-22-029D from a C-2H (Highway Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for open lot storage, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

Subject  
Property







# REZONE 229-22-029D

## ZONING MAP

REZONE of Assessor's Parcel No. 229-22-029D from a C-2H (Highway Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for open lot storage, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

- |  |       |  |          |
|--|-------|--|----------|
|  | A     |  | R-M      |
|  | A-D   |  | R-MH     |
|  | A-R   |  | R-O      |
|  | C-1   |  | R-O/A    |
|  | C-2   |  | R-P      |
|  | C-2H  |  | R-TT     |
|  | CITY  |  | S-D/A    |
|  | C-M   |  | S-D/C    |
|  | C-MO  |  | S-D/C-1  |
|  | C-RE  |  | S-D/C-2  |
|  | E     |  | S-D/C-M  |
|  | M     |  | S-D/C-RE |
|  | M-2   |  | S-D/M    |
|  | MIXED |  | S-D/R    |
|  | M-X   |  | S-D/R-1  |
|  | N-P   |  | S-D/R-E  |
|  | R-1   |  | S-D/R-M  |
|  | R-2   |  | S-D/R-O  |
|  | R-E   |  |          |





# REZONE 229-22-029D REQUEST

REZONE of Assessor's Parcel No. 229-22-029D from a C-2H (Highway Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for open lot storage, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W





CAUTION  
BURIED  
CABLE

4315  
95HY

## ZONING NOTICE

NOTICE IS HEREBY GIVEN that a meeting will be held by the Planning and Zoning Commission of Maricopa County, Arizona at the regular meeting place of the Commission, 700 N. Beale Street, Phoenix, Arizona, on Wednesday, January 14, 2020, at 10:00 A.M.

AGENDA: 1. 15-00000  
2. 15-00000  
3. 15-00000  
4. 15-00000  
5. 15-00000  
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**ZONING NOTICE**  
This notice is posted in accordance with the provisions of the Zoning Ordinance of the City of Las Vegas, Nevada. The notice is intended to inform the public of the proposed zoning change and to provide an opportunity for public comment. The notice is posted for a period of 30 days from the date of posting. The notice is posted in a public place where it is likely to be seen by the public. The notice is posted in a place that is not subject to removal or destruction. The notice is posted in a place that is not subject to tampering. The notice is posted in a place that is not subject to damage. The notice is posted in a place that is not subject to theft. The notice is posted in a place that is not subject to vandalism. The notice is posted in a place that is not subject to any other form of interference. The notice is posted in a place that is not subject to any other form of obstruction. The notice is posted in a place that is not subject to any other form of hindrance. The notice is posted in a place that is not subject to any other form of impediment. The notice is posted in a place that is not subject to any other form of barrier. The notice is posted in a place that is not subject to any other form of obstacle. The notice is posted in a place that is not subject to any other form of hindrance. The notice is posted in a place that is not subject to any other form of impediment. The notice is posted in a place that is not subject to any other form of barrier. The notice is posted in a place that is not subject to any other form of obstacle.

04. **Evaluation of a request for a SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted for a Special Use Permit, for the above-described property, as requested by Donald Plunkett on behalf of Camp Mohave 95 LLC of Paradise Valley, Arizona.

Assessor's Parcel No. 229-22-038J is described as a portion of Lot 19 of the Le Clair Subdivision, located in Section 15, Township 19 North, Range 22 West.

The site is approximately 0.96 acres and is located west of State Highway 95 and north of Camp Mohave Road. The site is accessed from State Highway 95 approximately 0.02 miles north of the intersection with Camp Mohave Road.

The site appears to be vacant with relatively flat terrain. The surrounding land uses consist of both commercial and residential development, and scattered vacant land. The nearest billboard is approximately 680 feet to the north. This location does not appear to be along a designated scenic route or vista.

The applicant requests this Special Use Permit to allow for a billboard. The Mohave County General Plan designates the site as General Commercial.

The site appears to be within the Fort Mojave Mesa Fire District. Electric and water services appear to be available. Sewer services do not appear to be available. State Highway 95 is paved and is on the Arizona Department of Transportation's road maintenance system.

A review of FEMA FIRM Panel #04015C-4763J indicates the parcel described to be in Zone X and Zone X (shaded), not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect complies with the Mohave County General Plan.
- c. The site appears to be adequate for the intended action.
- d. The neighboring area does contain uses similar to the above-proposed action.
- e. The site appears to have legal access via paved roads.
- f. There does not appear to be any environmental features affecting the site.
- g. Electric and water services appear to be available. Sewer service does not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. This Special Use Permit shall allow for a billboard on Assessor's Parcel No. 229-22-038J.
2. The applicant shall comply with all the applicable provisions of the Mohave County Zoning Ordinance.
3. The appropriate permits shall be obtained prior to construction.
4. If construction or the use has not commenced within one (1) year of Board of Supervisors approval of the Special Use Permit, or if the use has been discontinued for six (6) months, then approval shall terminate at that date.
5. This Special Use Permit is subject to revocation upon 60 days notification by the Board of Supervisors if, in the opinion of the Commission and the Board, the continued uses of the property would be contrary to the public health, safety, and welfare.

Rec'd 11/24/25  
SW 25-132

# SPECIAL USE PERMIT APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 229-22-038J Current Zoning: C2H Parcel Size 1.0 Acres

### Legal Description:

LOT 19 DESC AS FOLL BEG AT THE SE COR OF LOT 19; TH S89 DEG 55 FT W 265 FT ; TH N0 DEG 21 FT W 205.47 FT ; TH N89 DEG 51 FT E 265 FT ; TH S0 DEG 21 FT W 205 .47 FT TO TPOB EXCEPT BEG AT THE SE COR OF SAID LOT 19; TH S89 DEG LE CLAIR

Water Provider: City of BHC Electric provider: Mohave Electric Coop Sewer provider: n/a

Present use of property: Vacant land

## Owner Information

Owner Name(must match current deed): Camp Mohave 95 LLC

Owner Street Address: 5026 E. Fanfol Dr. City: Paradise Valley State: AZ Zip: 85253

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: Donald Plunkett

Agent Street Address: 5026 E. Fanfol Dr. City: Paradise Valley State: AZ Zip: 85253

Phone number: [REDACTED] Email: [REDACTED]

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for a Mohave County Special Use Permit to allow for:

Construction of a digital billboard

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

DocuSigned by:  
[Signature]  
08FC75CFF3434D9...

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Special Use Permit Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a Special Use Permit for the below-captioned property to allow for  
**Construction of a digital billboard**

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The Mohave County Zoning Ordinance requires all property owners within 300 feet of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Please direct written comments to the Mohave County Development Services Department at the following address:

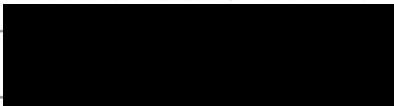
Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

Or email the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip. You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

DocuSigned by:  
  
\_\_\_\_\_  
Applicant: 229-22-038J

Contact information:

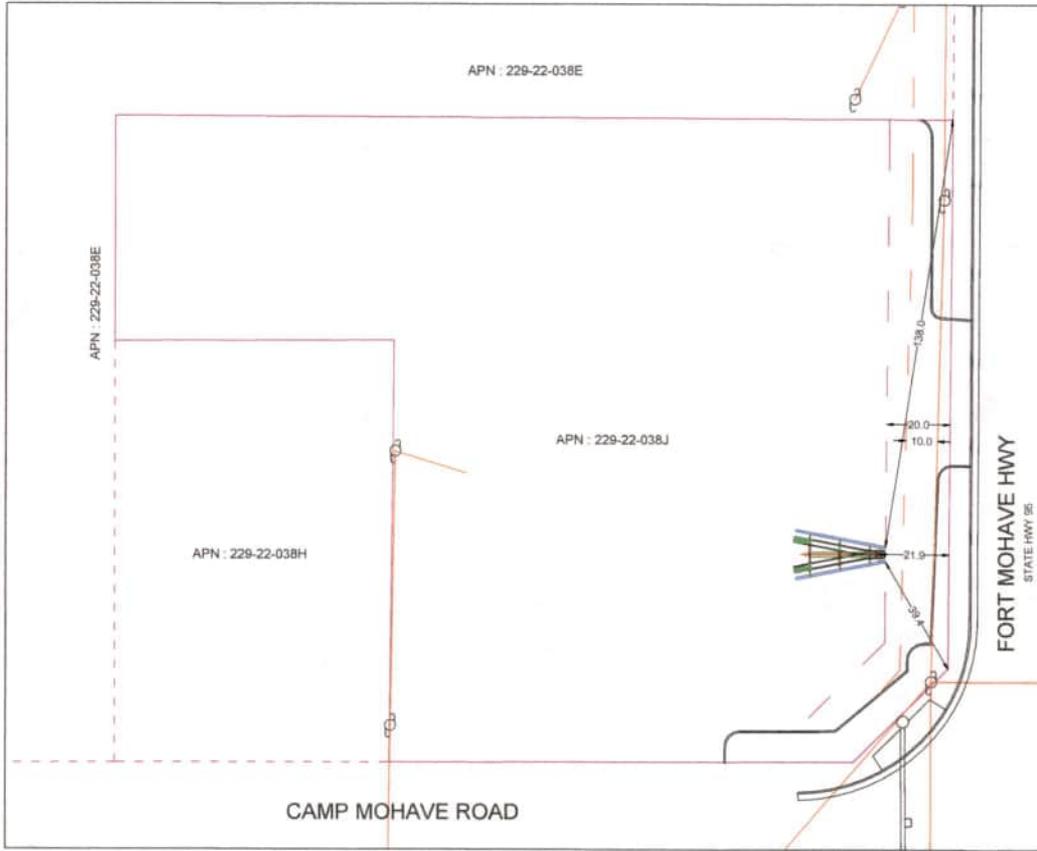
\_\_\_\_\_  
DONALD PLUNKETT  
\_\_\_\_\_  
5026 E FANFOL DR  
\_\_\_\_\_  
PARADISE VALLEY, AZ 85253  
\_\_\_\_\_  


Assessor Parcel Number and Legal Description of proposed Special Use location:

**229-22-038J**

\_\_\_\_\_  
LOT 19 DESC AS FOLL BEG AT THE SE COR OF LOT 19; TH S89 DEG 55 FT W 265 FT ; TH N0 DEG 21 FT W 205.47 FT ; TH N89 DEG 51 FT E 265 FT ; TH S0 DEG 21 FT W 205 .47 FT TO TPOB EXCEPT BEG AT THE SE COR OF SAID LOT 19; TH S89 DEG LE CLAIR

# PROPOSED SITE PLAN



SCALE= 1:40 ISO A3 SHEET

AC

**PURPOSE:**  
INSTALL/CONSTRUCT BILLBOARD

**NOTE:**  
FENCED AREA  
LOT : 42337.65±Sq ft

**DRAWN BY:**  
W.D.P.D. KULATHILAKA  
B.Sc. SURVEYOR (SUSL)

**CHECKED BY:**

**DATE:** 05<sup>th</sup> November, 2025

**CLIENT:**  
Camp Mohave 95 LLC

**PROJECT:**  
BILLBOARD INSTALLATION

**LOCATION:**  
LOCATED IN THE S.E. ¼ OF  
SECTION 15 T.19 N., R.22 W.,  
GILA & SALT RIVER MERIDIAN  
FORT MOHAVE | MOHAVE COUNTY  
| ARIZONA

**DESCRIPTION:**

Site plan is created using ALTA/NSPS land title survey. All dimensions are in feet.

**SHEET NO:**

1

## ARTICLES OF ORGANIZATION OF LIMITED LIABILITY COMPANY

### ENTITY INFORMATION

**ENTITY NAME:** CAMP MOHAVE 95 LLC  
**ENTITY ID:** 23869717  
**ENTITY TYPE:** Domestic LLC  
**EFFECTIVE DATE:** 08/20/2025  
**CHARACTER OF BUSINESS:** Any legal purpose  
**MANAGEMENT STRUCTURE:** Manager-Managed  
**PERIOD OF DURATION:** Perpetual  
**PROFESSIONAL SERVICES:** N/A

### STATUTORY AGENT INFORMATION

**STATUTORY AGENT NAME:** DONALD L PLUNKETT JR  
**PHYSICAL ADDRESS:** 5026 E FANFOL DR, PARADISE VALLEY, AZ 85253  
**MAILING ADDRESS:** 5026 E FANFOL DR, PARADISE VALLEY, AZ 85253

### PRINCIPAL ADDRESS

5026 E FANFOL DR, PARADISE VALLEY, AZ 85253

### PRINCIPALS

Manager: Donald L Plunkett JR - 5026 E FANFOL DR, PARADISE VALLEY, AZ, 85253, USA -  
donnieplunkett@gmail.com - Date of Taking Office:

Member: DLPS Investments, LLC - 6065 Lake Forrest Drive Suite 100, ATLANTA, GA, 30328, USA -  
donnieplunkett@gmail.com - Date of Taking Office:

### ORGANIZERS

Donald L Plunkett JR: 5026 E FANFOL DR, PARADISE VALLEY, AZ, 85253, USA, [REDACTED]

### SIGNATURES

Organizer: DONALD L PLUNKETT JR - 08/20/2025

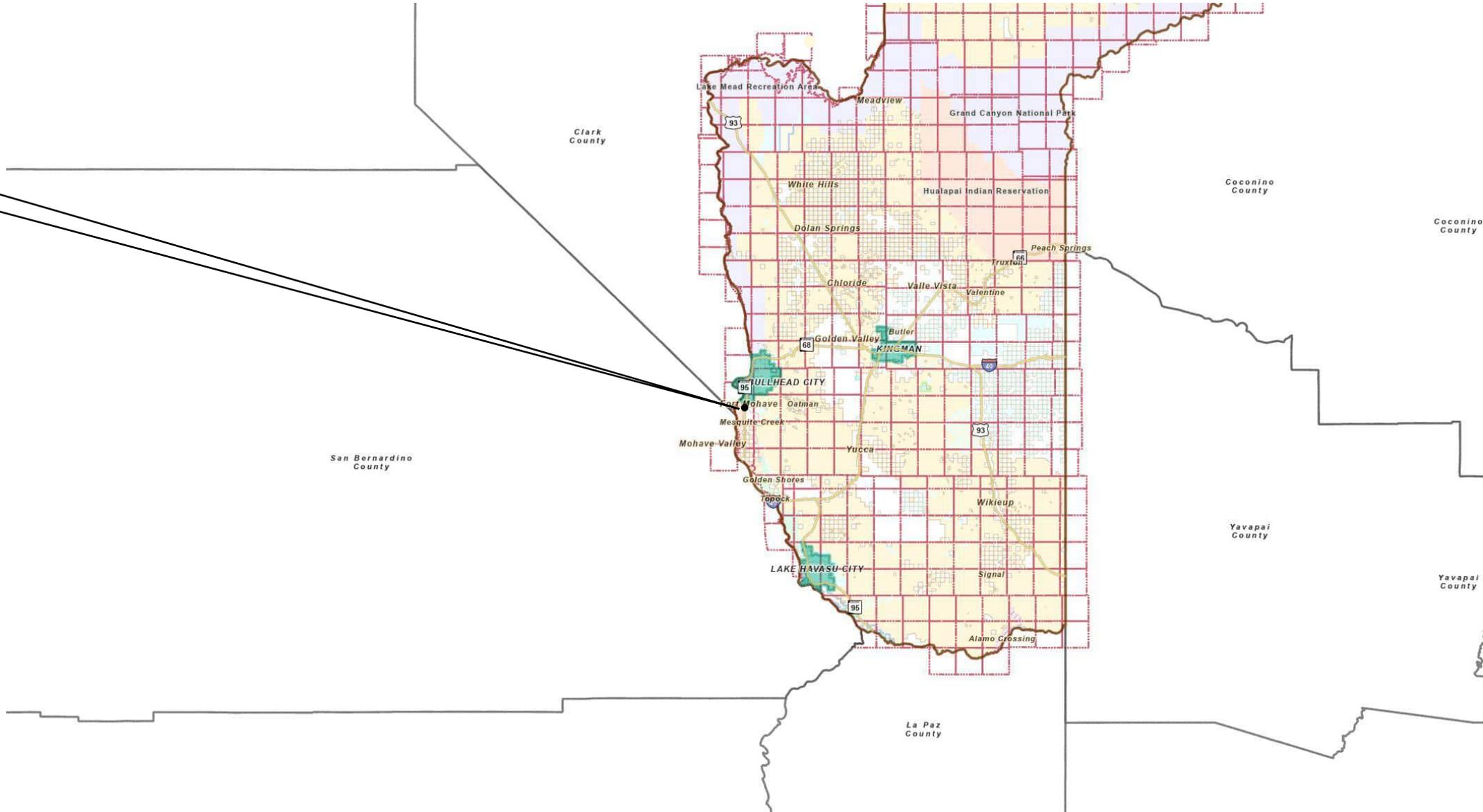
# SPECIAL USE PERMIT 229-22-038J

## GENERAL MAP

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

Subject  
Property



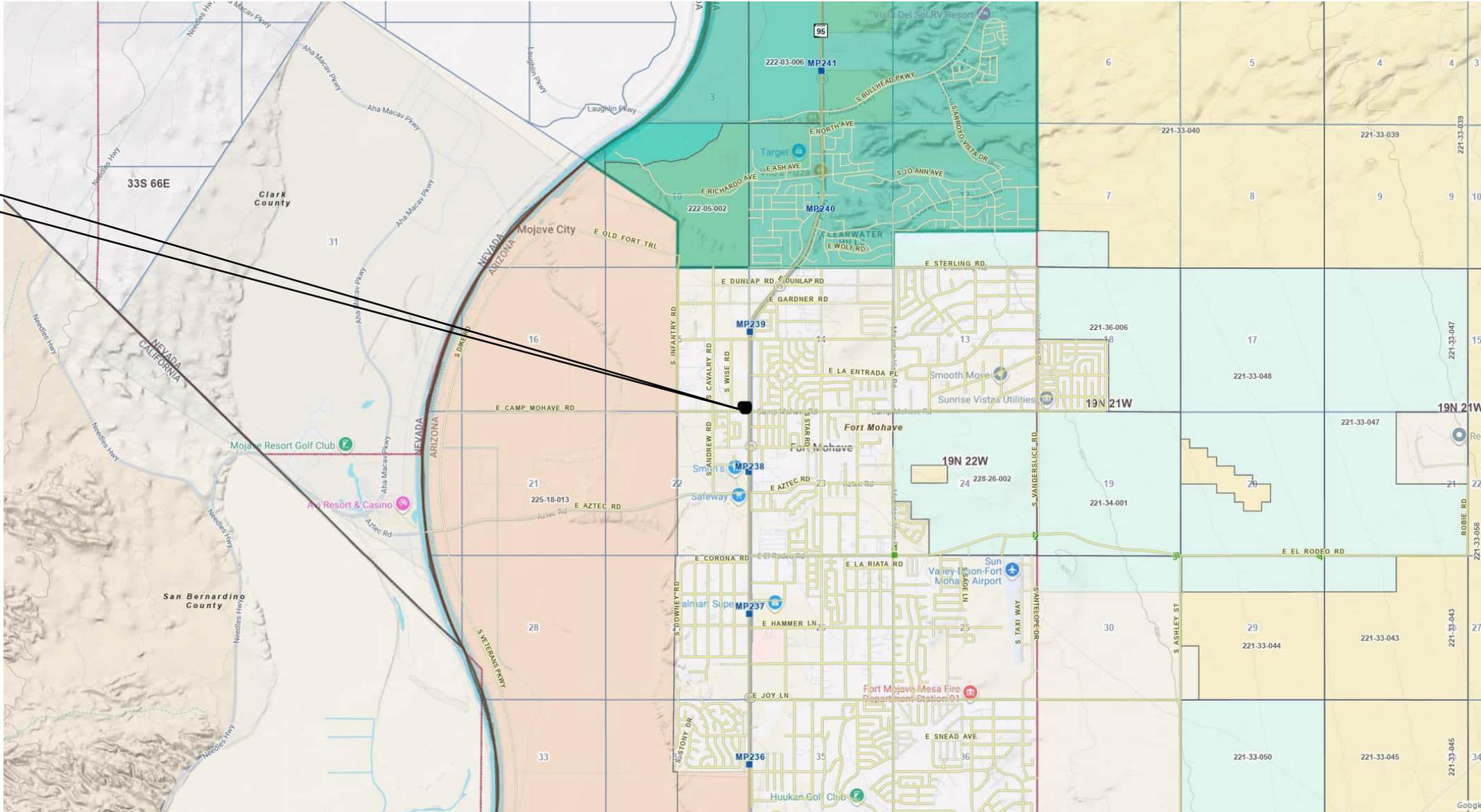
# SPECIAL USE PERMIT 229-22-038J

## VICINITY MAP

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

Subject  
Property

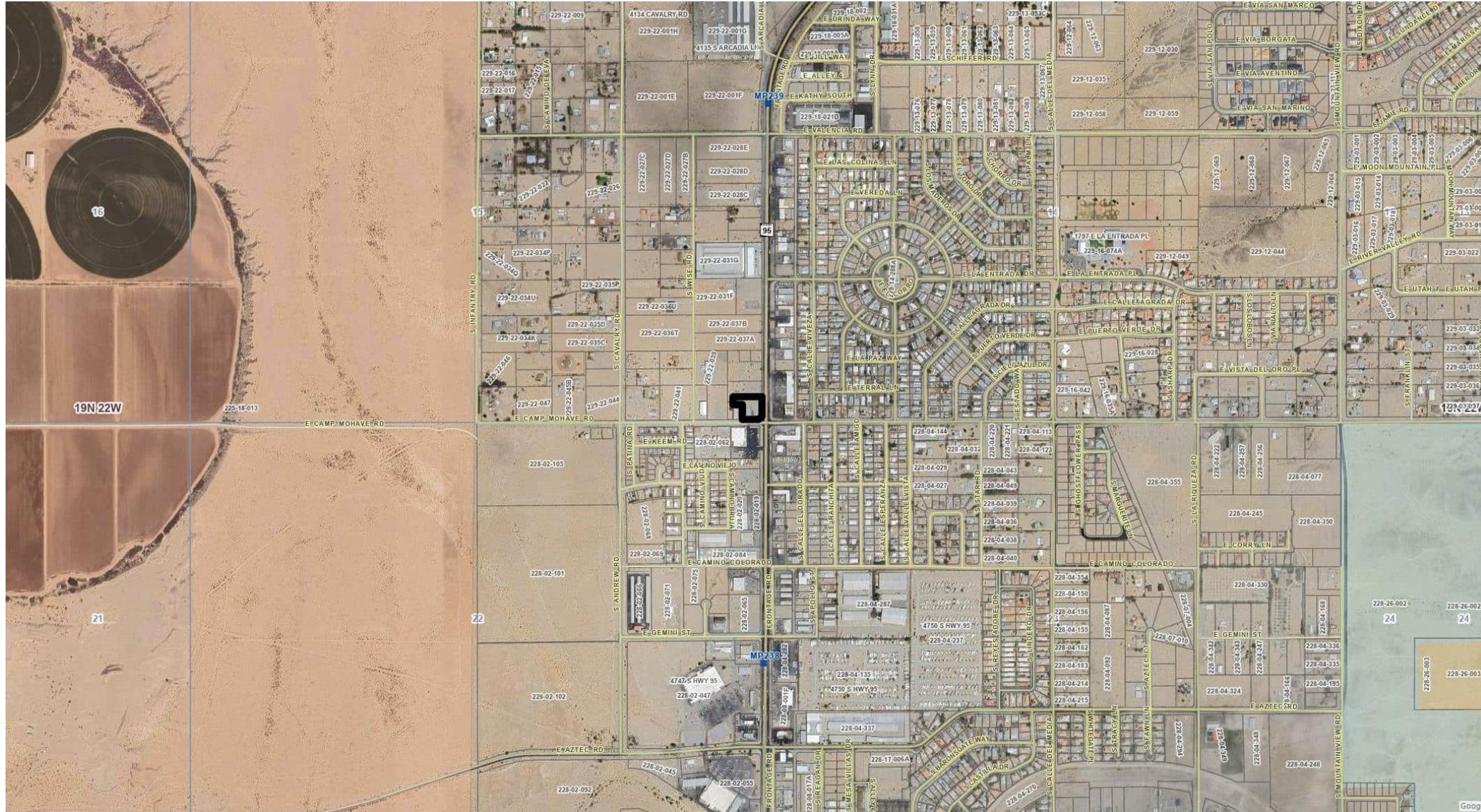


# SPECIAL USE PERMIT 229-22-038J

## SITE MAP

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W



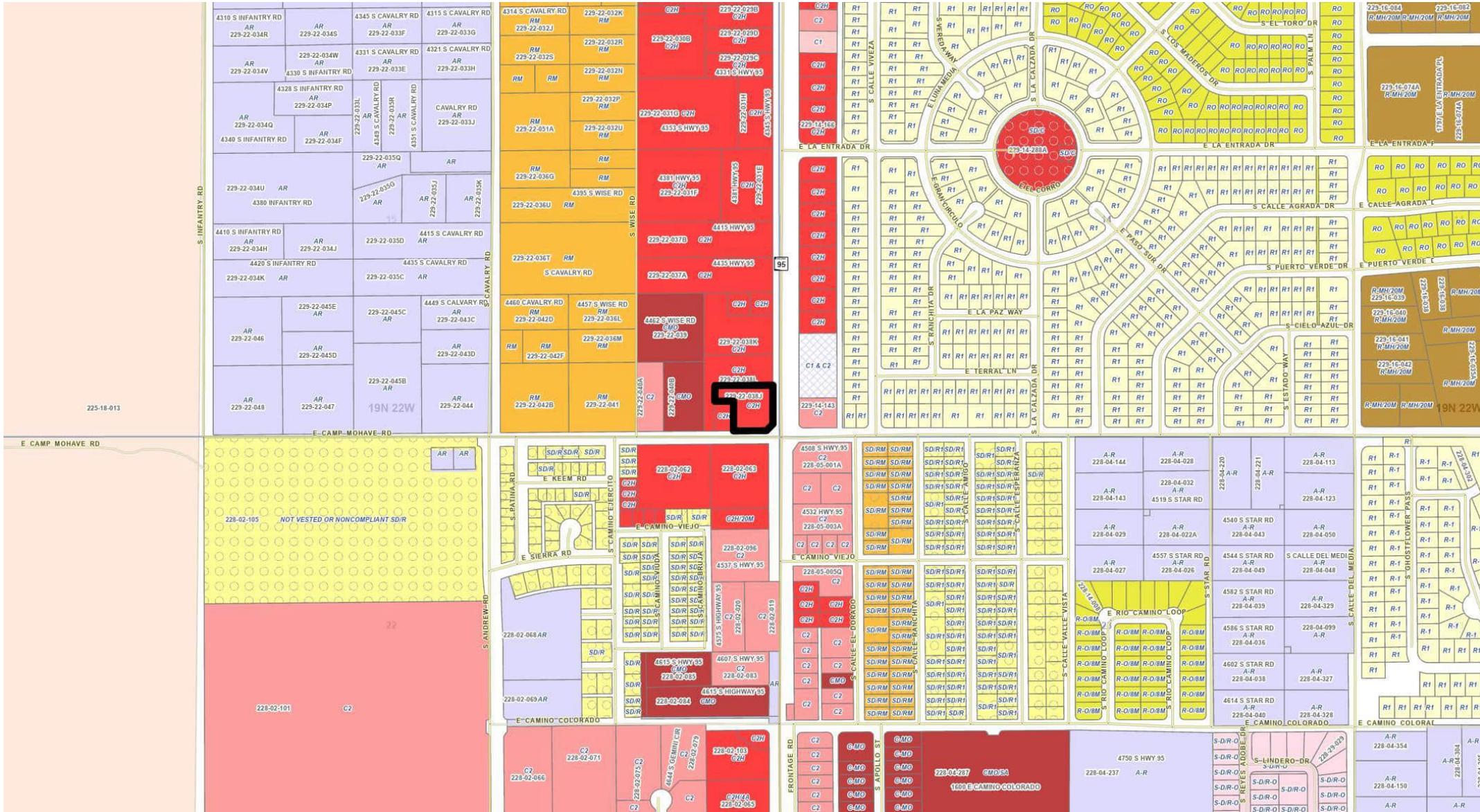
# SPECIAL USE PERMIT 229-22-038J

## ZONING MAP

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

- |  |       |  |          |
|--|-------|--|----------|
|  | A     |  | R-M      |
|  | A-D   |  | R-MH     |
|  | A-R   |  | R-O      |
|  | C-1   |  | R-O/A    |
|  | C-2   |  | R-P      |
|  | C-2H  |  | R-TT     |
|  | CITY  |  | S-D/A    |
|  | C-M   |  | S-D/C    |
|  | C-MO  |  | S-D/C-1  |
|  | C-RE  |  | S-D/C-2  |
|  | E     |  | S-D/C-M  |
|  | M     |  | S-D/C-RE |
|  | M-2   |  | S-D/M    |
|  | MIXED |  | S-D/R    |
|  | M-X   |  | S-D/R-1  |
|  | N-P   |  | S-D/R-E  |
|  | R-1   |  | S-D/R-M  |
|  | R-2   |  | S-D/R-O  |
|  | R-E   |  |          |



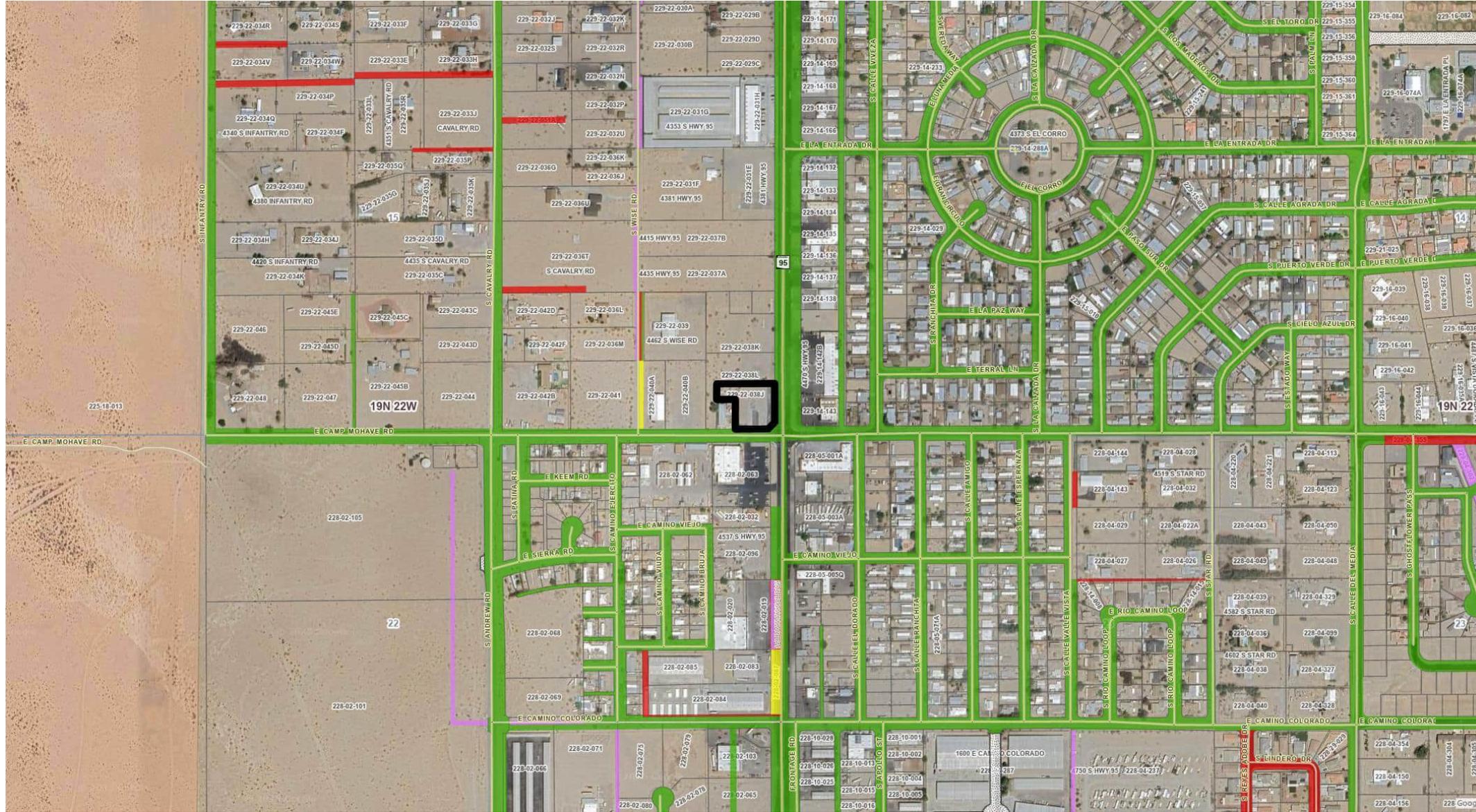
# SPECIAL USE PERMIT 229-22-038J

## RIGHT OF WAY MAP

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W

-  Drainage
-  Utility
-  Public
-  Not Perfected
-  RS 2477
-  Further Research Req
-  Not Public
-  No R/W



# SPECIAL USE PERMIT 229-22-038J REQUEST

SPECIAL USE PERMIT for Assessor's Parcel No. 229-22-038J to allow for a digital billboard in a C-2H (Highway Commercial) zone, in the Fort Mohave vicinity.

Section 15  
T 19 N, R 22 W





**ZONING  
NOTICE**

NOTICE TO THE PUBLIC  
PLANNING & ZONING DEPARTMENT  
CITY OF PHOENIX  
150 NORTH CENTRAL AVENUE, SUITE 100  
PHOENIX, ARIZONA 85004  
PH: 602-506-3100  
WWW.PHONIXAZ.GOV



05. **Evaluation of a request for an AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a Rural Development Area land use designation to a Suburban Development Area land use designation and a REZONE of Assessor's Parcel No. 217-03-011 from an A-R/2A (Agricultural Residential/Two Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for a minor land division, in the Golden Valley vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to:

1. Amend the Mohave County General Plan; and
2. Rezone the above-described property as requested by Gerald and Pamela Enders of Golden Valley, Arizona.

Assessor's Parcel No. 217-03-011 is described as Golden Valley Ranchos Unit 8 Block A Lot 12, located in Section 3, Township 20 North, Range 19 West.

The site is approximately 2.35 acres and is located east of Havasupai Road and south of Shinarump Drive. The site is accessed from State Highway 68, then south on Estrella Road, then east on Shinarump Drive, then south on Havasupai Road, approximately 0.26 miles to the site.

The site appears to be vacant with a natural wash running west to east through the middle of the property. The surrounding land uses consist of single-family residences and vacant land.

The applicant requests this:

1. Amendment to the Mohave County General Plan from a Rural Development Area land use designation to a Suburban Development Area land use designation, and this
2. Rezone from an A-R/2A (Agricultural Residential/Two Acre minimum lot size) zone to an A-R (Agricultural Residential) zone to allow for a minor land division.

The site is in the Golden Valley District. Electric service appears to be available. Water and sewer services do not appear to be available. Havasupai Road is unpaved and is not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4520H indicates the northern portion described to be in Zone A, a Special Flood Hazard Area and the southern portion described to be in Zone X, not in a Special Flood Hazard Area.

## **FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan, as amended by this item.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning and land use designations similar to the above-proposed action.
- e. The site appears to have legal access via unpaved roads.

- f. The noted flood zone is an environmental feature affecting the site.
- g. Electric service appears to be available. Water and sewer services do not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The Mohave County General Plan shall be amended to a Suburban Development Area land use designation.
2. The site will be rezoned to an A-R (Agricultural Residential) zone.
3. The submittal and recordation of a Parcel Plat prepared in accordance with Chapter 7, Minor Land Divisions, of the Mohave County Land Division Regulations, and 102.01-03 of the Standard Specifications and Details is required.
4. The gross acreage of the parent parcels and the total acreage of the resulting proposed parcels may differ, as the number of parcels, their configuration, and the possibility of the need for roadway easements and /or dedications will not ultimately be known until the approval and recordation of a parcel plat for this property. Each parcel shall meet or exceed its respective acreage, exclusive of roadways.
5. This conditional approval does not guarantee the applicant the number of parcels proposed, nor relieve them, nor the County from their obligations to comply with applicable state statutes and county regulations as a part of this land division. The number of parcels created in conjunction with this rezone may need to be reduced to be considered a minor land division. As a part of the review of this application and the subsequent parcel plat, Mohave County will determine if the resulting division would constitute a subdivision action, a common plan, or a case of acting in concert with other parties and may prescribe a course of processing consistent with Mohave County Land Division Regulations.
6. Roadway rights-of-way/easements shall be dedicated/granted as necessary to provide legal access to all parcels. Said rights-of-way/easements may be public or private. Any rights-of-way/easements dedicated/granted to the County shall be accepted by the Board of Supervisors. Mohave County Public Works will review the right-of-way/easement requirements with the Surveyor of Record prior to or during the Parcel Plat submittal.
7. All public easements granted and rights-of-way dedicated and shown on the Parcel Plat will be accepted by the Board of Supervisors upon Parcel Plat recordation.
8. Each parcel shall have legal access.
9. The applicable flood zone(s) shall be noted on the Parcel Plat.
10. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.

11. The appropriate permits will be obtained prior to construction.
12. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

Rec'd 11/25/05 CB

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 217-03-011 Current Zoning: AR-2A Parcel Size 2.35 Acres

Legal Description: ~~217-03-011~~ Golden Valley Ranchos Unit 8 Block A Lot 12

Water Provider: G, V WATER Electric provider: UNI-SOURCE Sewer provider: ~~GOLDEN VALLEY~~ SEPTIC  
Present use of property: RESIDENTIAL

## Owner Information

Owner Name (must match current deed): GERALD L. ENDERS  
Mailing Address: 417 S KIRKLAND RD City: Golden Valley State: AZ Zip: 86413  
Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: to divide property in half

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No  
Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of: SALE

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed, I allow them to act on my behalf regarding this application.

Gerald L. Enders  
Gerard L. Enders

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from AR-2A to AR for the purpose of minor land division.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

Gerald and Pamela Enders  
Applicant / agent

Contact information:

417 S Kirkland Rd PMB 1006  
Golden Valley AZ 86413

Assessor Parcel Number and Legal Description of proposed subject property: 217-03-011

Golden Valley Ranchos Unit 8 Block A Lot 12

# GENERAL PLAN AMENDMENT ADDENDUM

## Request

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I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for the Amendment of the General Plan:

Current General Plan: Rural Development area

Proposed to be: Suburban Development area

Describe how the change will benefit the county.

increase in tax base

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List any public infrastructure and public services that are available or will be provided.

Unksource

Golden Valley Water Supply

Westside Garbage Service

Septic- could be installed

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Describe any change in the character of the surrounding neighborhood.

Developed Land

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Explain how the change is consistent with the goals and policies of the General Plan and any applicable area plan for which this property is involved.

No change other than size of property

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Explain the proposed change, changing events, or circumstances that make the amendment necessary.

Divide the property of 2.35 acres into 2-1/17 acres  
for the purpose of sale of one half

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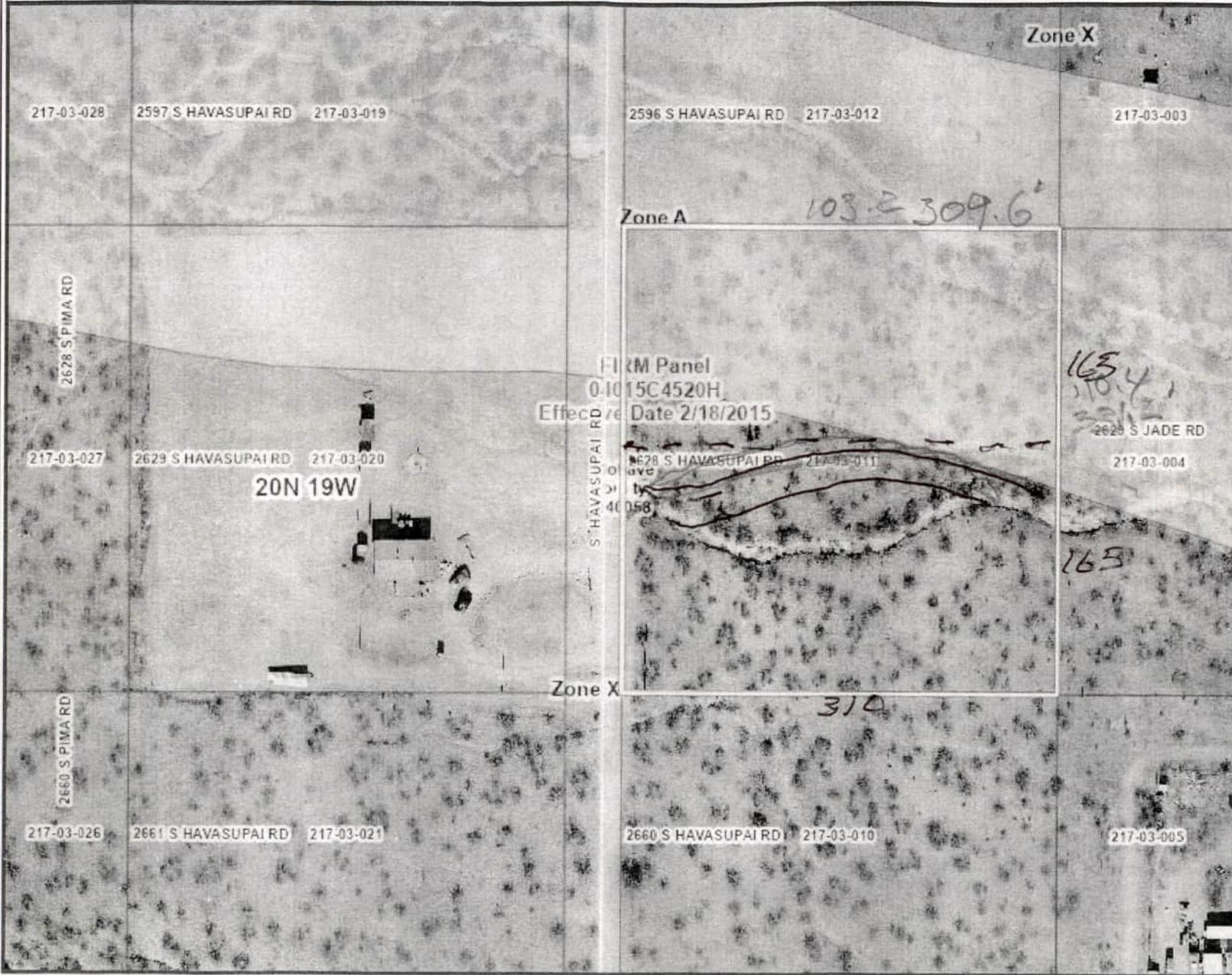
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# Minor Plan Amendment Addendum

This addendum is to notify you of a request for a change to the Mohave County General Plan from

Rural Development area to Suburban Development Area

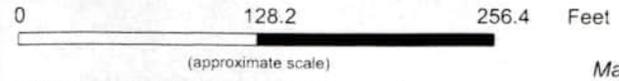
to accompany the requested rezone.



**Legend**

- ADOT Mileposts
- COUNTY Mileposts
- Sign Post Exists
- Calculated Measure
- Highways
- Main Arterials
- Collectors
- Local
- Railroad
- City Limits (>1:120K)
- County Boundary
- Surrounding Counties
- Township/Range
- Section
- Elevation Certificates
- FEMA Letters of Map Revision
- FEMA Letters of Map Amendme
- Hydraulic Structures**
- AQUEDUCT
- BRIDGE
- CANAL
- CHANNEL
- CHANNEL CONTAINS 1 PCT FLOO
- CULVERT
- CULVERT CONTAINS 1 PCT FLOO
- DAM
- DIKE
- LEVEE

1: 1,538



Map Created: 5/10/2022

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**Notes:**



Exhibit A

Lot 12, Block "A", Golden Valley Ranchos Unit 8, according to the plat of record in the office of the County Recorder of Mohave County, Arizona, recorded October 28, 1959, at Fee No. 91355.

EXCEPT all oil, gas, coal, and minerals as set forth in instrument recorded in Book 92 of Deeds, Page 166.

Unofficial Copy

ACCEPTANCE OF COMMUNITY PROPERTY  
WITH RIGHT OF SURVIVORSHIP  
(Deed)

Gerald L. Enders and Pamela R. Enders, Husband and Wife, as Community Property with Right of Survivorship, each being first duly sworn upon oath each for himself or herself and jointly but not one for the other deposes and says:

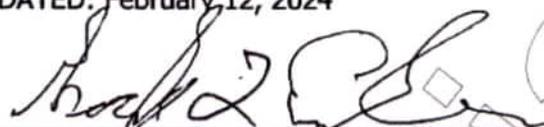
THAT I am one of the Grantees named in that certain Deed attached hereto and which is dated February 12, 2024 and executed by Nina Gail Petty, Surviving Trustee of The Laycook Living Trust, dated September 13, 1995, as Grantors, to Gerald L. Enders and Pamela R. Enders, Husband and Wife, as Community Property with Right of Survivorship, as Grantees, and which conveys certain premises described as:

See Exhibit A attached hereto and made a part hereof.

to the Grantees named therein, not as Tenants in Common nor as a Community Property Estate nor as Joint Tenants with Right of Survivorship, but as Community Property with Right of Survivorship.

THAT each of us individually and jointly as Grantees hereby assert and affirm that it is our intention to accept said conveyance as Community Property with Right of Survivorship and to acquire any interest we may have in said premises under the terms of said Deed as Community Property with Right of Survivorship.

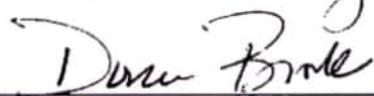
DATED: February 12, 2024

  
Gerald L. Enders

  
Pamela R. Enders

State of Arizona }  
                          } ss.  
County of Mohave }

The foregoing instrument was acknowledged before me this 13 day of February, 2024, by Gerald L. Enders and Pamela R. Enders.

  
NOTARY PUBLIC  
My commission expires: 3-19-24

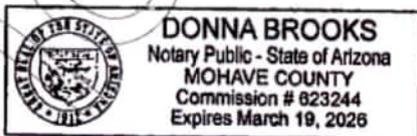


Exhibit A

Lot 12, Block "A", Golden Valley Ranchos Unit 8, according to the plat of record in the office of the County Recorder of Mohave County, Arizona, recorded October 28, 1959, at Fee No. 91355.

EXCEPT all oil, gas, coal, and minerals as set forth in instrument recorded in Book 92 of Deeds, Page 166.

Unofficial Copy

Beneficiary Disclosure Exhibit

Pursuant to A.R.S. § 33-404, the following are the name(s) and address(es) of the beneficiary(ies) of the Trust, which the undersigned understands and acknowledges may be included by Pioneer Title Agency, Inc. as a "Trust Disclosure Exhibit" attached to any deed/deed of trust being recorded by Pioneer Title Agency, Inc. in a pending transaction with the Trust.

**Nina Gail Laycook, Surviving Trustee of The Laycook Living Trust, dated September 13, 1995**

Beneficiary Name and Address: Gloria McBeth 17425 Cashew Ln, Dixon, Mo. 65459

Beneficiary Name and Address: \_\_\_\_\_

Beneficiary Name and Address: \_\_\_\_\_

Initials <sup>DS</sup> NGP \_\_\_\_\_

Unofficial

Copy



# MOHAVE COUNTY DEVELOPMENT SERVICES

P. O. Box 7000 Kingman, Arizona 86402-7000 3250 E. Kino Ave, Kingman www.mohave.gov Telephone (928) 757-0903 FAX (928) 757-3577

Scott Holtry  
Department Director

Sam Elters, P. E.  
County Manager/County Engineer

## RECEIPT

Permit Number: P-118  
Type: REZONE  
APN: 217-03-011  
Applicant Name: GERALD ENDERS  
Site Address: 152 S EMERY PARK RD, SPC B18, GOLDEN VALLEY

Receipt Number: REC #P-118

Fee Description	Amount	Date Paid
REZONE	\$ 790.00	11/25/2025

---

Total Fees Paid:	\$ 790.00	
Method of Payment:	Check	164
Cashier:	VB	



# MOHAVE COUNTY DEVELOPMENT SERVICES

P. O. Box 7000 Kingman, Arizona 86402-7000 3250 E. Kino Ave, Kingman www.mohave.gov Telephone (928) 757-0903 FAX (928) 757-3577

Scott Holtry  
Department Director

Sam Elters, P. E.  
County Manager/County Engineer

## RECEIPT

Permit Number: P-119  
Type: PLAN AMENDMENT  
APN: 217-03-011  
Applicant Name: GERALD ENDERS  
Site Address: 152 S EMERY PARK RD, SPC B18, GOLDEN VALLEY

Receipt Number: REC #P-119

Fee Description	Amount	Date Paid
PLAN AMENDMENT	\$ 640.00	11/25/2025

Total Fees Paid: \$ 640.00  
Method of Payment: Check 165  
Cashier: VB

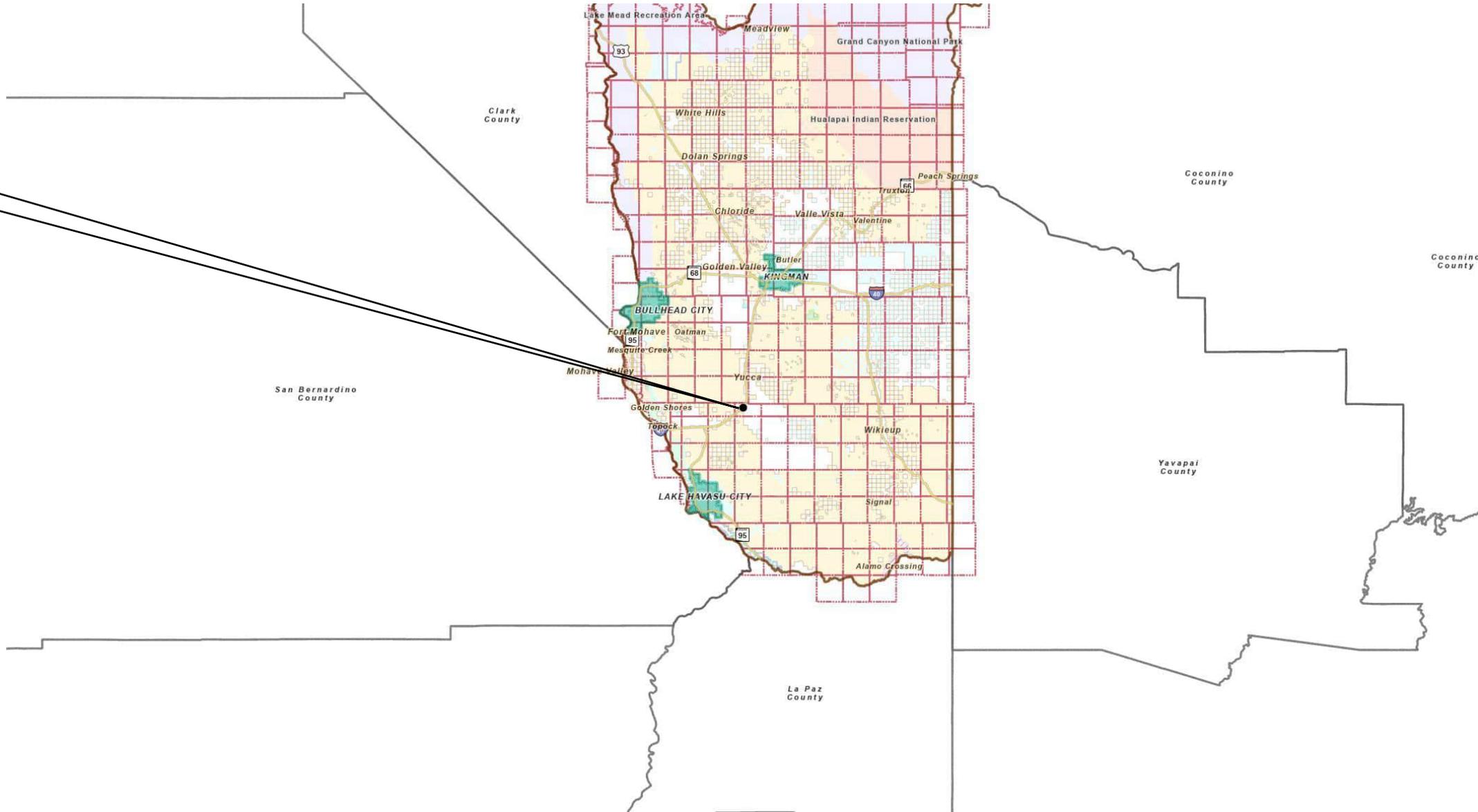
# GENERAL PLAN AMENDMENT & REZONE 217-03-011

## GENERAL MAP

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a Rural Development Area land use designation, to a Suburban Development Area land use designation, and for a REZONE of Assessor's Parcel No. 217-03-011 from an A-R/2A (Agricultural Residential/Two Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for minor land division, in the Golden Valley vicinity.

Section 3  
T 20 N, R 19 W

Subject  
Property













# GENERAL PLAN AMENDMENT & REZONE 217-03-011

## REQUEST

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a Rural Development Area land use designation, to a Suburban Development Area land use designation, and for a REZONE of Assessor's Parcel No. 217-03-011 from an A-R/2A (Agricultural Residential/Two Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for minor land division, in the Golden Valley vicinity.

Section 3  
T 20 N, R 19 W



# ZONING NOTICE

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Mohave County, Arizona at the regular meeting room of the Commission, 700 W. Beale Street, Kingman, Arizona, on Wednesday, January 14, 2026, at 10:00 A.M.

**APPROXIMATELY 1.55 ACRES IN THE NORTHWEST CORNER OF SECTION 16, T12N, R10E, S12E, MOHAVE COUNTY, ARIZONA**  
GENERAL COUNCIL OF THE COUNTY OF MOHAVE, ARIZONA  
PLANNING AND ZONING COMMISSION  
700 W. BEALE STREET, KINGMAN, ARIZONA 86401  
FOR MORE INFORMATION, CONTACT THE PLANNING & ZONING COMMISSION AT 939-794-1111 OR VISIT [WWW.MOHAVECOUNTYAZ.COM](http://WWW.MOHAVECOUNTYAZ.COM)





06. **Evaluation of a request for an AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a Suburban Estates land use designation to a General Commercial land use designation and a REZONE of Assessor's Parcel Nos. 207-20-002A through -002H from a C-2 (General Commercial) zone to a C-MO (Commercial-Manufacturing/Open Lot Storage) zone, to allow for general commercial and light industrial uses, in the Yucca vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to:

1. Amend the Mohave County General Plan; and
2. Rezone the above-described property as requested by Kirk Daniels and Katie Campbell of Lake Havasu, Arizona.

Assessor's Parcel Nos. 207-20-002A through -002H are described as Gem Acres amended lots 2A, 2B, 2C, 2D, 3A, 3B, 3C and 3D located in Section 29, Township 16 North, Range 18 West.

The sites combined are approximately 9.16 acres and is located east of Interstate 40 and south of Frontage Road. The site is accessed from Interstate 40, exit 20, then southeast on Santa Fe Ranch Road, then west on Frontage Road, then south on Kickapoo Drive approximate 200 feet to the northeast corner of 207-20-002B.

The sites appear to be vacant and relatively flat. The surrounding land uses consist mostly of vacant land with a few general commercial uses.

The applicant requests this:

1. Amendment to the Mohave County General Plan from Suburban Estates land use designation to General Commercial land use designation, and this
2. Rezone from a C-2 (General Commercial) zone to a C-MO (Commercial-Manufacturing/Open Lot Storage) zone to allow for general commercial and light industrial uses.

These sites are in the Golden Valley District. Electric service appears to be available. Water and sewer services do not appear to be available. Kickapoo Drive is unpaved and is not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-5450G indicates these lots to be in Zone X, not in a Special Flood Hazard Area.

## **FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan, as amended by this item.
- c. The sites appear adequate for the intended action.
- d. The neighboring area contains other zoning and land use designations similar to the above-proposed action.
- e. The sites appear to have legal access via unpaved roads.

- f. The noted flood zone is not an environmental feature affecting the sites.
- g. Electric service appears to be available. Water and sewer services do not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The Mohave County General Plan shall be amended to a General Commercial land use designation.
2. The sites will be rezoned to a C-MO (Commercial-Manufacturing/Open Lot Storage) zone.
3. A site plan, prepared in accordance with Section 37.N (Site Plan Requirements), must be completed prior to the approval of permits and before establishing the use. In addition, the applicant may be required to provide a view-obscuring fence, if required by Section 37.N of the Mohave County Zoning Ordinance, prior to establishing the use.
4. The appropriate permits will be obtained prior to construction.
5. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 207-20-002 Current Zoning: Commercial Parcel Size 8.8 Acres

Legal Description:  
GEM ACRES AMENDED LOTS 2A,2B,2C,2D,3A,3B,3C,3D

Water Provider: well/haul Electric provider: Unisource Sewer provider: septic

Present use of property: vacant land

## Owner Information

Owner Name(must match current deed): Kirk Daniels & Katie Campbell

Owner Street Address: 1011 Red Rock Rd City: Lake Havasu City State: AZ Zip: 86406

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: na

Agent Street Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: C-MO Commercial Manufacturing-Open Lot Storage

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

general commercial and light manufacturing use

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

Kirk Daniels

Katie Campbell

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from Commercial to <sup>C-MO Commercial Manufacturing</sup>                      for the purpose of general commercial and light manufacturing use.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

Kirk Daniels & Katie Campbell  
Applicant / agent

Contact information:

1011 Red Rock Rd  
Lake Havasu City AZ 86406

Assessor Parcel Number and Legal Description of proposed subject property: 207-20-002

GEM ACRES AMENDED LOTS 2A,2B,2C,2D,3A,3B,3C,3D

# GENERAL PLAN AMENDMENT ADDENDUM

## Request

---

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for the Amendment of the General Plan:

Current General Plan: Suburban Estates

Proposed to be: General Commercial

Describe how the change will benefit the county.

It will provide manufacturing and retail jobs and services.

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List any public infrastructure and public services that are available or will be provided.

electricity

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Describe any change in the character of the surrounding neighborhood.

There will be minor changes with the construction of new buildings. Adjacent properties are already zoned CMO.

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---

Explain how the change is consistent with the goals and policies of the General Plan and any applicable area plan for which this property is involved.

The existing property is zoned Commercial. We are asking for an exception to build our woodshop.

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---

Explain the proposed change, changing events, or circumstances that make the amendment necessary.

In order to obtain the requested CMO zoning, we are required to submit a General Plan Amendment request.

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# Minor Plan Amendment Addendum

This addendum is to notify you of a request for a change to the Mohave County General Plan from

**Suburban Estates**

to **General Commercial**

---

to accompany the requested rezone.





**Legend**

- ADOT Mileposts
- COUNTY Mileposts
  - Sign Post Exists
  - Calculated Measure
- Highways
- Main Arterials
- Collectors
- Local
- Railroad
- R/W Data
  - Drainage
  - Utility
  - Public
  - Not Perfected
  - RS 2477
  - Further Research Req
  - Not Public
  - No R/W
- Lots
- Recorded Distance (Feet)
- City Limits (>1:120K)
- County Boundary
- Surrounding Counties
- Township/Range
- Section
- Surface Management
  - Bureau of Land Management
  - Bureau of Reclamation

1: 4,155

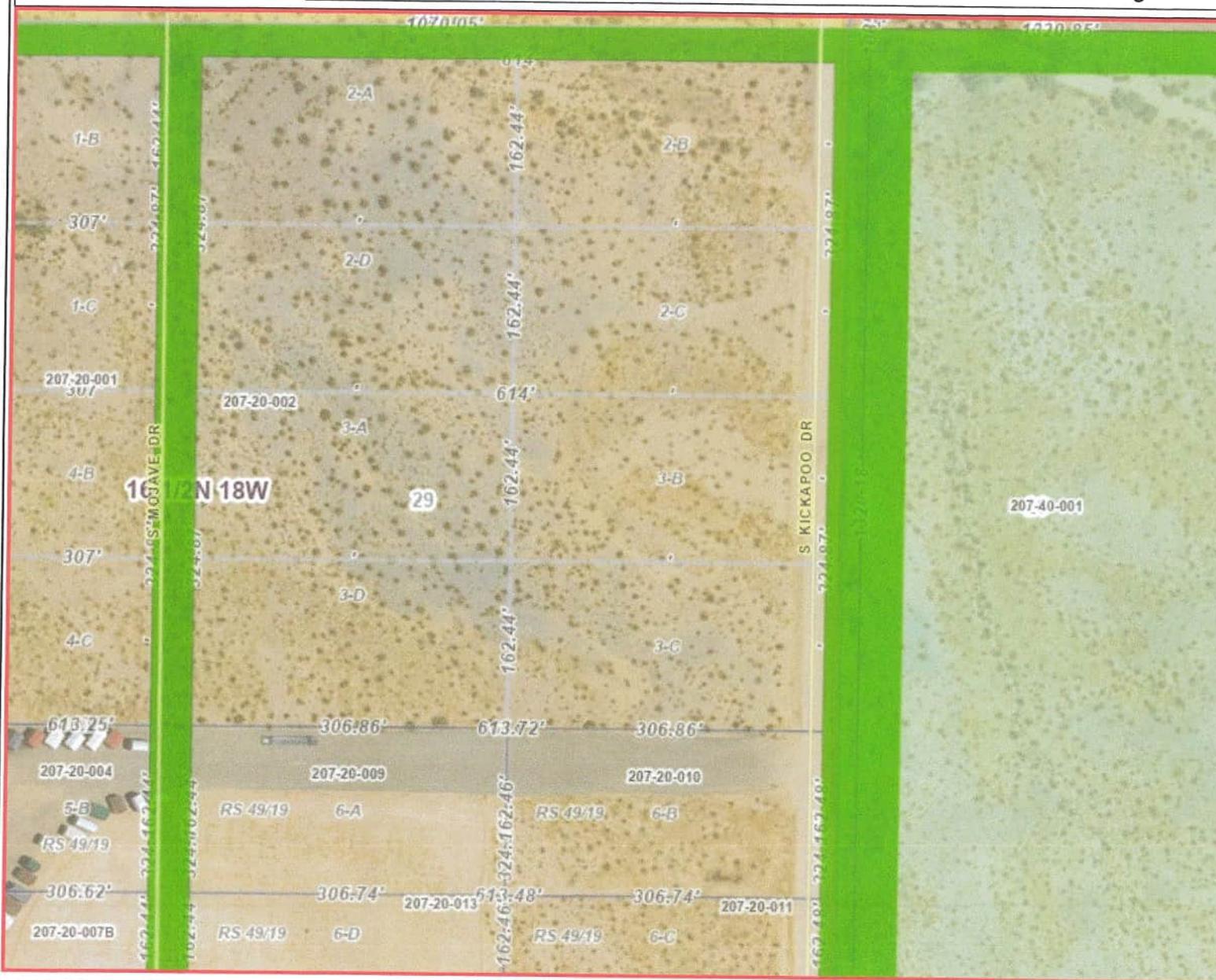
0 346.2 692.4 Feet

(approximate scale)  
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Map Created: 6/22/2025

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**Notes:**



**Legend**

- ADOT Mileposts
- COUNTY Mileposts
  - Sign Post Exists
  - Calculated Measure
- Highways
  - Main Arterials
  - Collectors
  - Local
- Railroad
- R/W Data
  - Drainage
  - Utility
  - Public
  - Not Perfected
  - RS 2477
  - Further Research Req
  - Not Public
  - No R/W
- Lots
  - Recorded Distance (Feet)
  - City Limits (>1:120K)
  - County Boundary
  - Surrounding Counties
  - Township/Range
  - Section
- Surface Management
  - Bureau of Land Management
  - Bureau of Reclamation

1:2,077

0 173.1 346.2 Feet  
(approximate scale)

Map Created: 6/22/2025

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**Notes:**

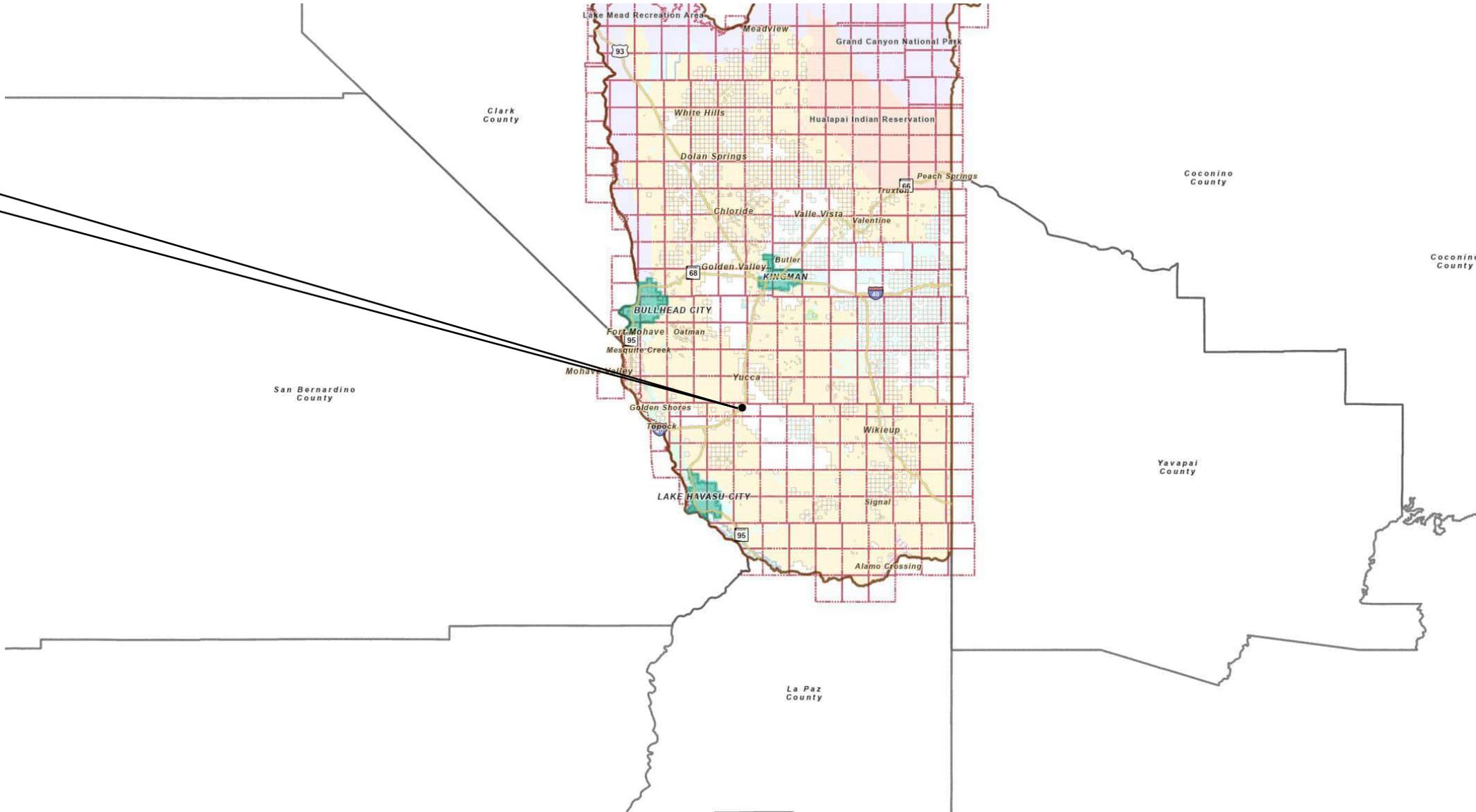
# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G

## GENERAL MAP

Section 29  
T 16.5 N, R 18 W

Subject  
Property

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.



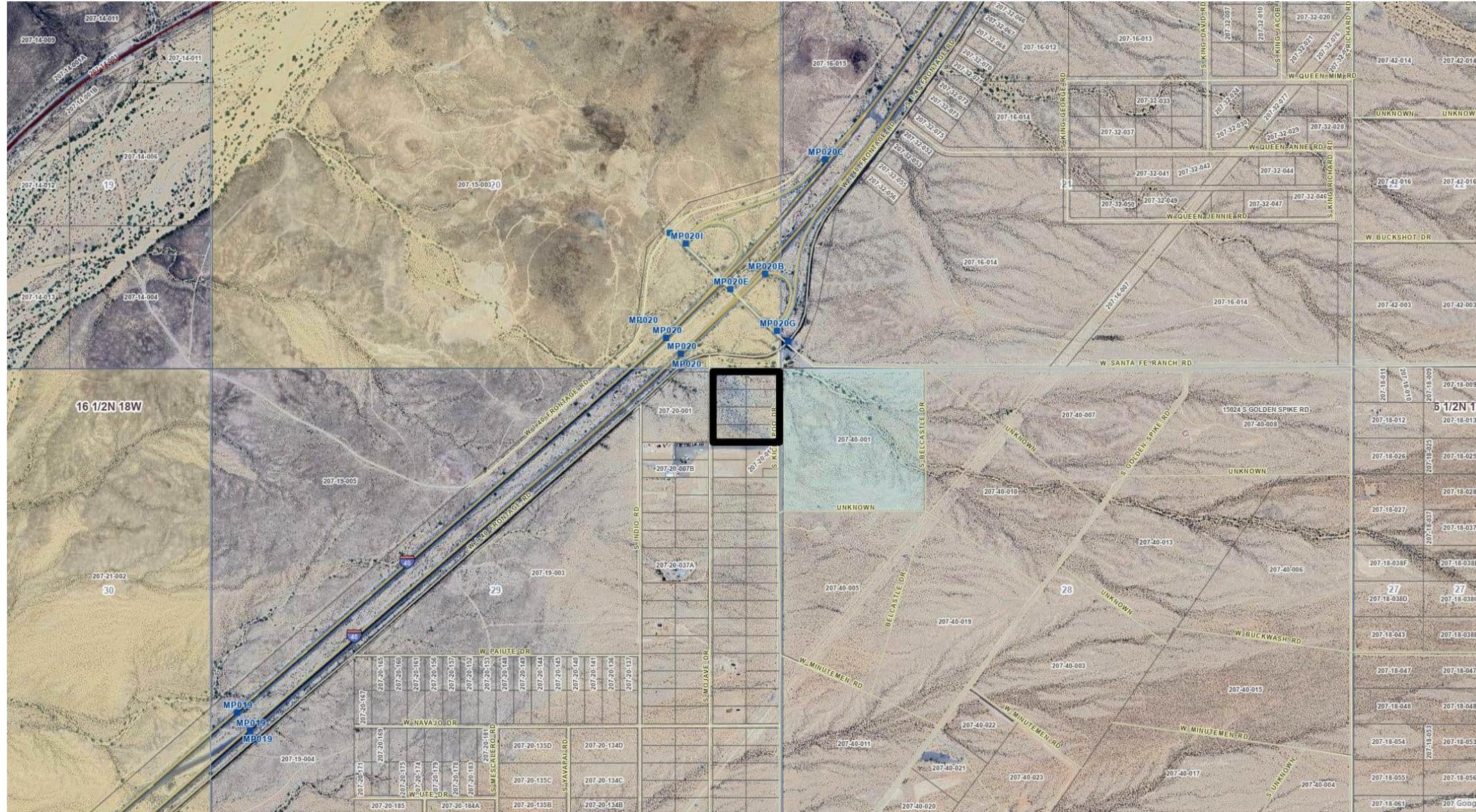


# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G

## SITE MAP

Section 29  
T 16.5 N, R 18 W

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.



# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G

## GENERAL PLAN MAP

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.

### Section 29 T 16.5 N, R 18 W

-  Alternative Energy
-  Commercial Recreation
-  General Commercial
-  Heavy Industrial
-  High Density Residential
-  Light Industrial
-  Light Industrial/PUD
-  Low Density Residential
-  Medium Density Resid/PUD
-  Medium Density Residential
-  Neighborhood Commercial
-  Public Facilities
-  Public Lands
-  Public Parks
-  Rural Development Area
-  Rural Industrial
-  Rural Residential
-  Suburban Development Area
-  Suburban Estates
-  Suburban Residential
-  Urban Development Area



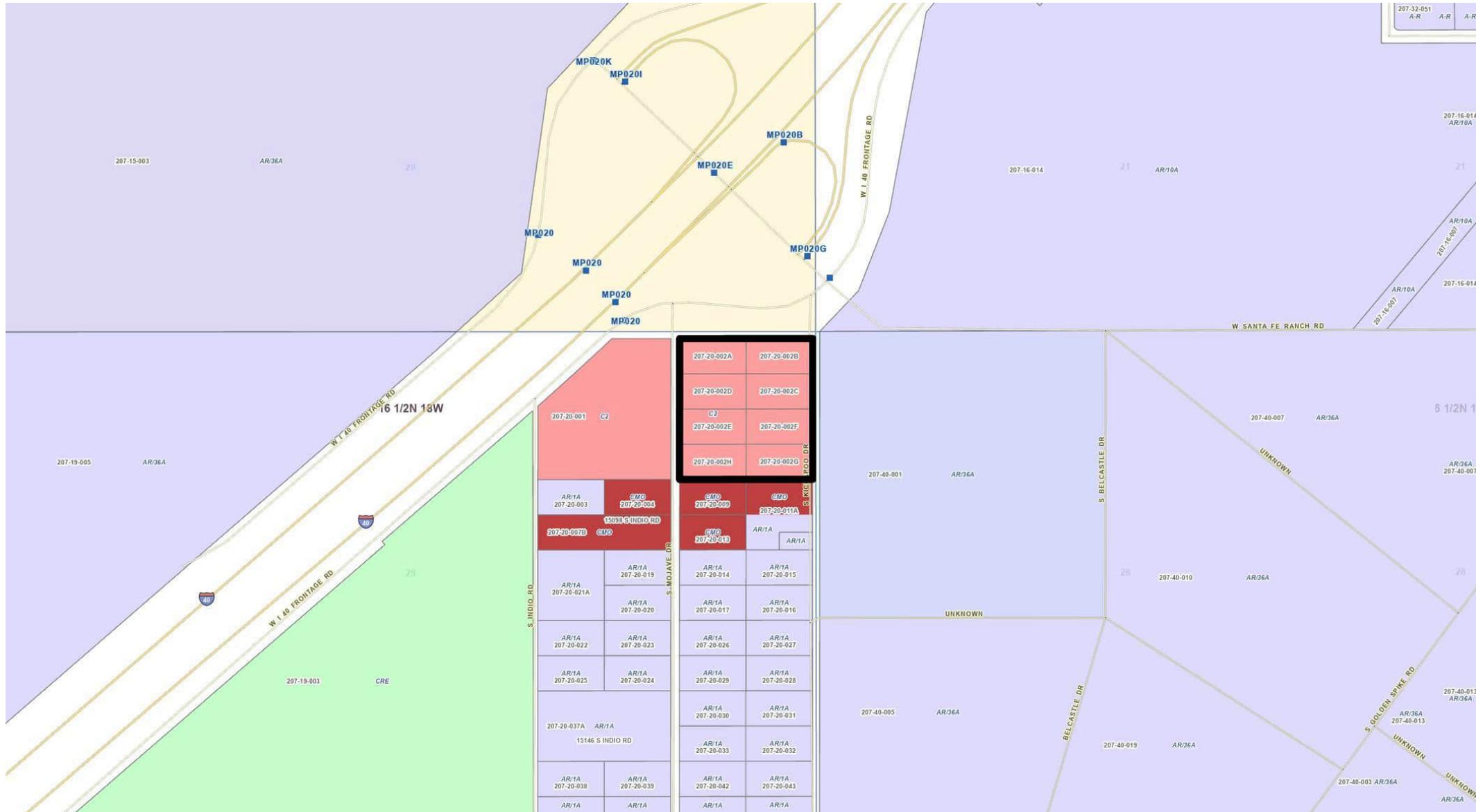
# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G

## ZONING MAP

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.

Section 29  
T 16.5 N, R 18 W

- |       |          |
|-------|----------|
| A     | R-M      |
| A-D   | R-MH     |
| A-R   | R-O      |
| C-1   | R-O/A    |
| C-2   | R-P      |
| C-2H  | R-TT     |
| CITY  | S-D/A    |
| C-M   | S-D/C    |
| C-MO  | S-D/C-1  |
| C-RE  | S-D/C-2  |
| E     | S-D/C-M  |
| M     | S-D/C-RE |
| M-2   | S-D/M    |
| MIXED | S-D/R    |
| M-X   | S-D/R-1  |
| N-P   | S-D/R-E  |
| R-1   | S-D/R-M  |
| R-2   | S-D/R-O  |
| R-E   |          |



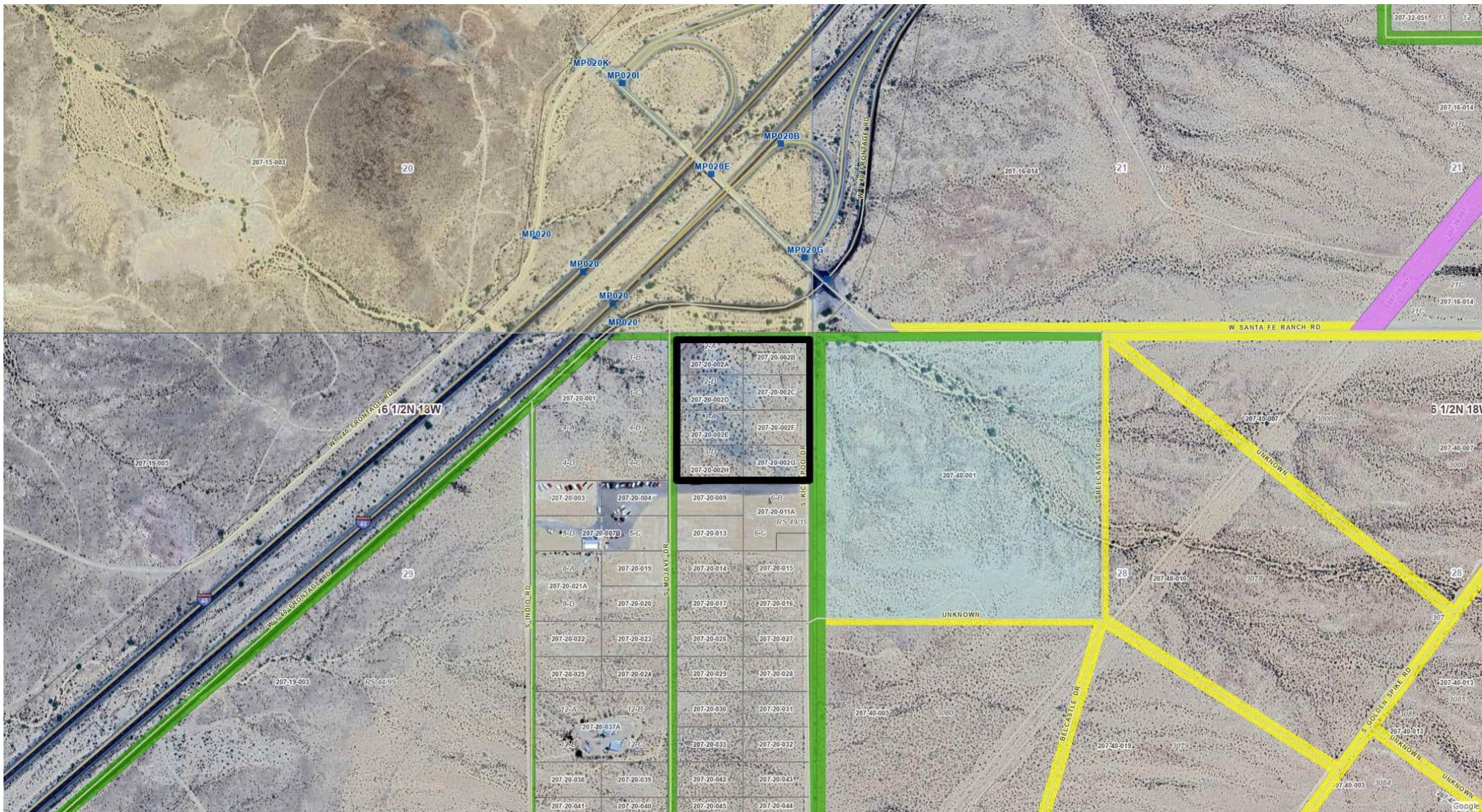
# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G

## RIGHT OF WAY MAP

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.

Section 29  
T 16.5 N, R 18 W

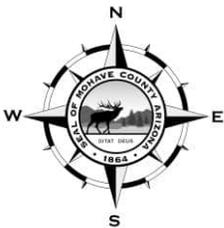
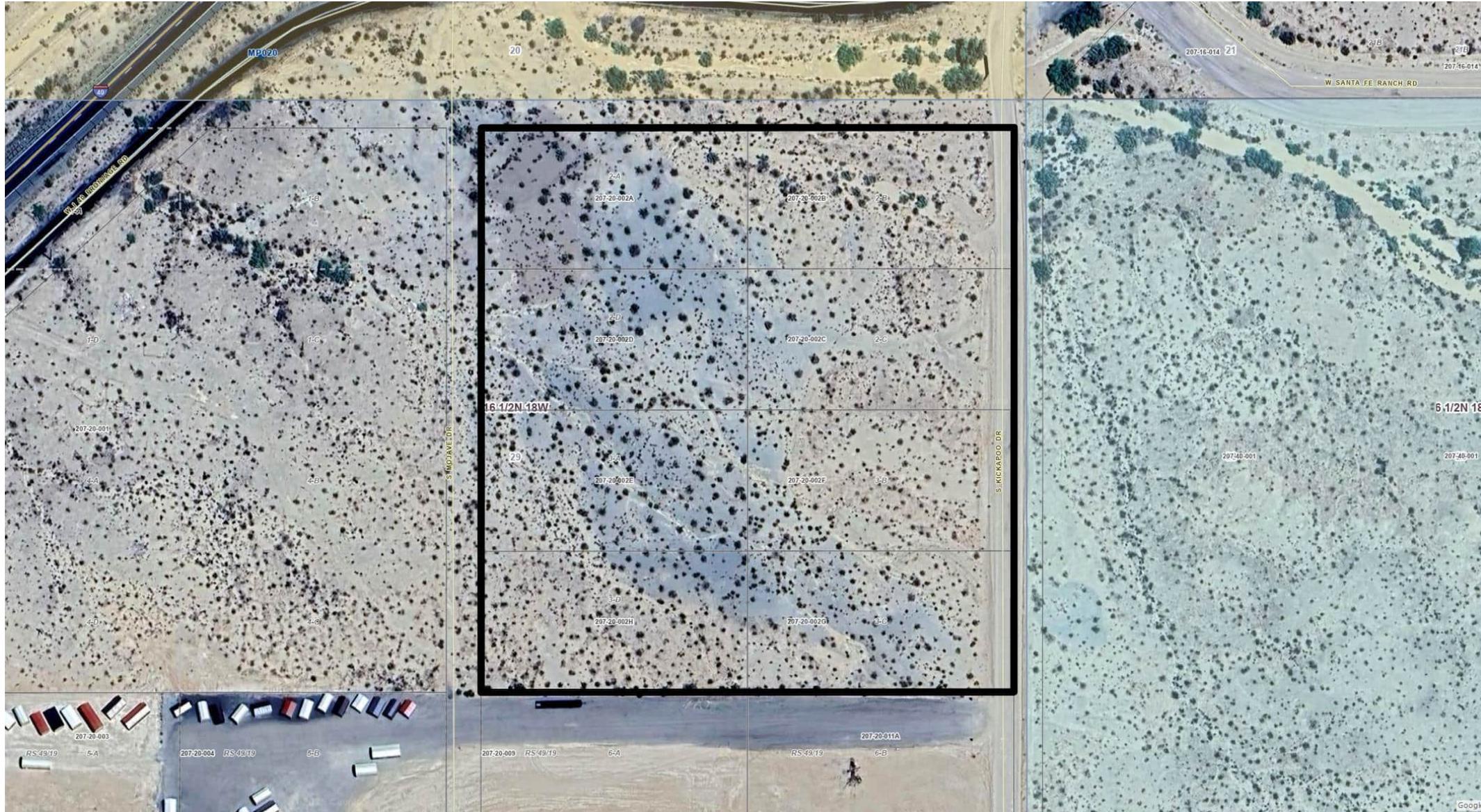
- Drainage
- Utility
- Public
- Not Perfected
- RS 2477
- Further Research Req
- Not Public
- No R/W



# GENERAL PLAN AMENDMENT & REZONE 207-20-002A thru G REQUEST

AMENDMENT TO THE MOHAVE COUNTY GENERAL PLAN from a SE (Suburban Estates) land use designation, to a GC (General Commercial) land use designation, and for a REZONE of Assessor's Parcel No. 207-20-002A thru G from a C-2 (General Commercial) zone to a C-MO (Commercial Manufacturing-Open Lot Storage) zone, to allow for general commercial and light industrial use, in the Yucca vicinity.

Section 29  
T 16.5 N, R 18 W







07. **Evaluation of a request for a REZONE of Assessor's Parcel No. 335-03-040 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone and an A-R/5A (Agricultural Residential/Five Acre minimum lot size) zone, to allow for a minor land division in the Kingman vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to Rezone the above-described property, as requested by Adrien Muya of Las Vegas, Nevada.

Assessor's Parcel No. 335-03-040 described as the NE1/4 SE1/4 of Section 11, Township 25 North, Range 17 West.

The site is approximately 40 acres in size and is located northeast of Dambro Ranch Road and east of Stockton Hill Road. The site is accessed from U.S. Interstate 40, then north on Stockton Hill Road, and is approximately 1.75 miles east of Milepost 28 on Stockton Hill Road. There does not appear to be legal access to the site.

The site appears to be vacant. The terrain appears to be relatively flat. The surrounding land uses consist of vacant public and private land and scattered single-family residences.

The applicant requests this zone change from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone and an A-R/5A (Agricultural Residential/Five Acre minimum lot size) zone to allow for a minor land division. The Mohave County General Plan designates the site as a Rural Development Area.

The site is not within a fire district. Electric, water, and sewer services do not appear to be available. Stockton Hill Road is paved and is on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-3725G indicates the parcel described as being in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area does not contain other zoning and densities similar to the above-proposed action.
- e. The site does not appear to have legal access.
- f. There does not appear to be any significant environmental feature affecting the site.
- g. Electric, water, and sewer services do not appear to be available.

**STAFF RECOMMENDATION:**

**Staff does not find the application proper for consideration for the following reason(s):**

1. The proposed Rezone is not consistent with the zoning and density of the surrounding area.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 335-03-040 Current Zoning: AR-30A Parcel Size 40. Acres

Legal Description:

NE 1/4 SEC 4, EXC THE NLY, WLY, SLY, ELY 25' THEREOF FOR R/W PURPOSES SEC 11 25N 17W CONT. 40 AC

Water Provider: Ø Electric provider: Ø Sewer provider: Ø

Present use of property: Vacant Land

## Owner Information

Owner Name (must match current deed): Adrien Mulowayi Muya

Mailing Address: 4553 Balfour Dr. City: Las Vegas State: NV Zip: 89121

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: \_\_\_\_\_

Mailing Address: N/A City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: AR-10A, 35A

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of: Land division

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

[Signature]

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below - captioned property from AR-36A to AR-10A<sup>b</sup> 5A for the purpose of Land division

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,



Applicant Agent

Contact information:

Adrién Muya

Address: 4553 Balfour DR Las Vegas NV 89121

Phone #: [REDACTED]

Email: [REDACTED]

Assessor Parcel Number and Legal Description of proposed subject property:

NE4SE4, EXC THE NLY, WLY, SLY, ELY 2S' Thereof for R/w purposes sec 11 2SN 17W CONT. 40AC

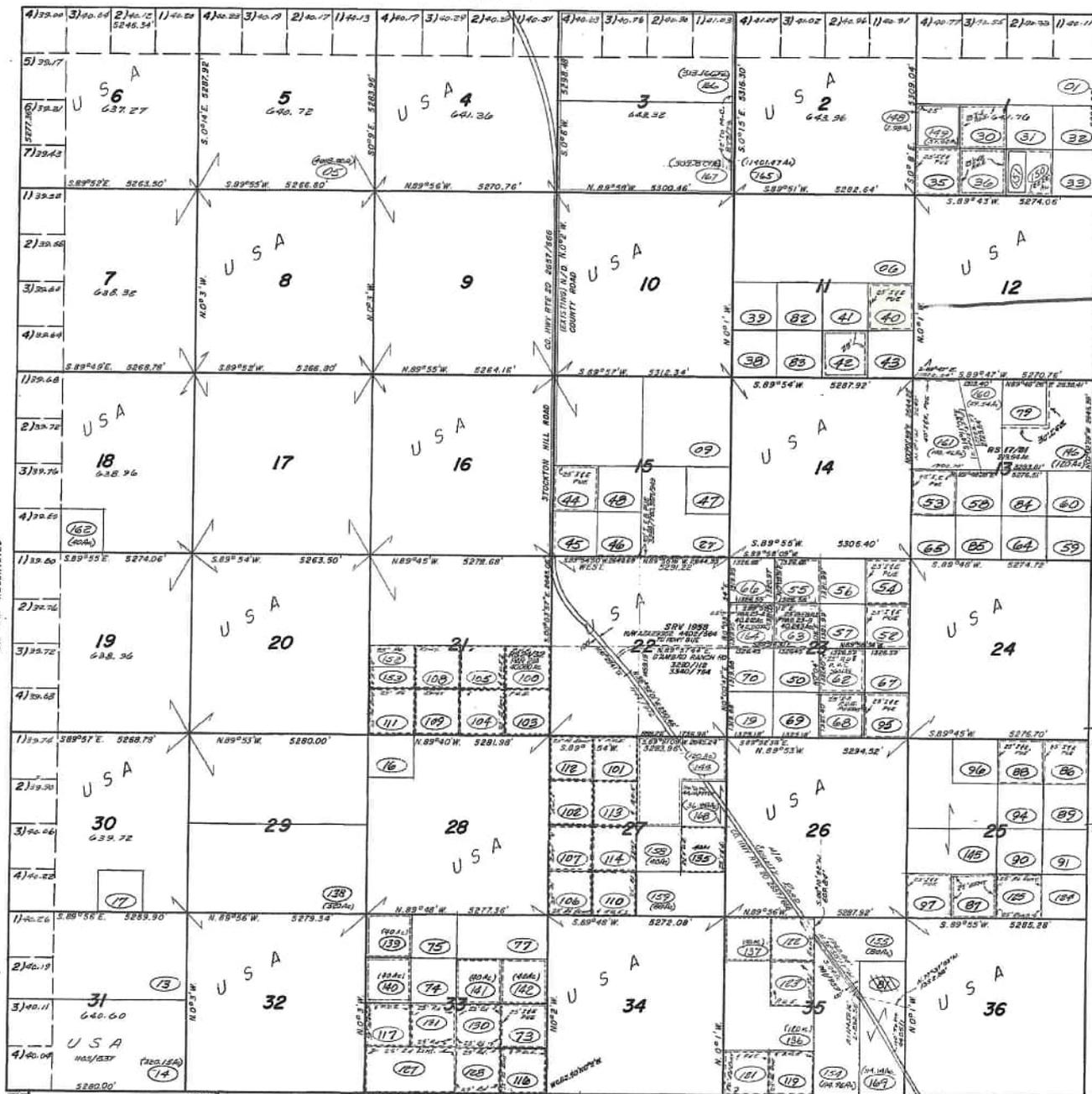
T.25N., R.17W.

Book 341 Map 05

BOOK 335

MAP 03

Code 1100



PLAT LOCATION	REC. DATE
1911	1/12/01
1912	07-30-03
1913	1/11/01
1914	09-14-08
1915	10/20/08
1916	10/20/08

3 (10 Acre parcels)  
2 (5 Acre parcels)

Book 316  
Map 01

Book 335  
Map 01



SCALE 2" = 1 Mi.

TOTAL AREA = 2304.515 Ac.

Void in  
GIS  
4/5/07

LAT. 35°30'05" N  
LONG. 114°02'18" W (1914)  
LONG. 114°03'19" W (1919)

25 N., 17 W. JULY 15, 2004

SIXTH STANDARD PARALLEL NORTH RESURVEYED  
Book 335 Map 05

MOHAVE COUNTY  
ASSESSOR'S MAP  
(170)

---

**Re: Rezone Application for 335-03-040**

---

**From** Adrien Muya [REDACTED]  
**Date** Tue 12/9/2025 12:00 PM  
**To** Melanie Stradling <StradM@mohave.gov>

**CAUTION:** This email originated from outside of Mohave County. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Yes, please proceed.

On Thu, Dec 4, 2025 at 7:04 AM Melanie Stradling <[StradM@mohave.gov](mailto:StradM@mohave.gov)> wrote:

Good morning--

I've reviewed your rezone application for 335-03-040, and the requested lot sizes of five and ten acres aren't consistent with lot sizes in that area. For that reason, we would advise the Planning & Zoning Commission that the Planning department doesn't find it appropriate for consideration.

You can choose to move forward with the rezone request, and have it go before the Planning & Zoning Commission and the Board of Supervisors for consideration. If you do this, the application fee is non-refundable.

Or, if you want to withdraw the application now, the application fee can be refunded.

Please let me know as soon as possible what you decide to do.

Thank you,



---



Planner I  
Planning & Zoning Division  
Mohave County Development Services  
Phone: 928-757-0903 | Fax: 928-757-3577  
3250 E Kino Ave, Kingman, AZ 86409  
[stradm@mohave.gov](mailto:stradm@mohave.gov)

***Development Services is open Monday - Friday from 7 a.m. - 6 p.m.  
My schedule is Monday - Thursday from 7 a.m. - 5 p.m., Friday 10 a.m. - 2 p.m.***

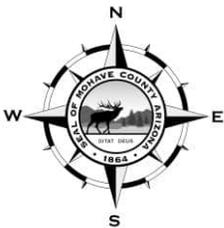
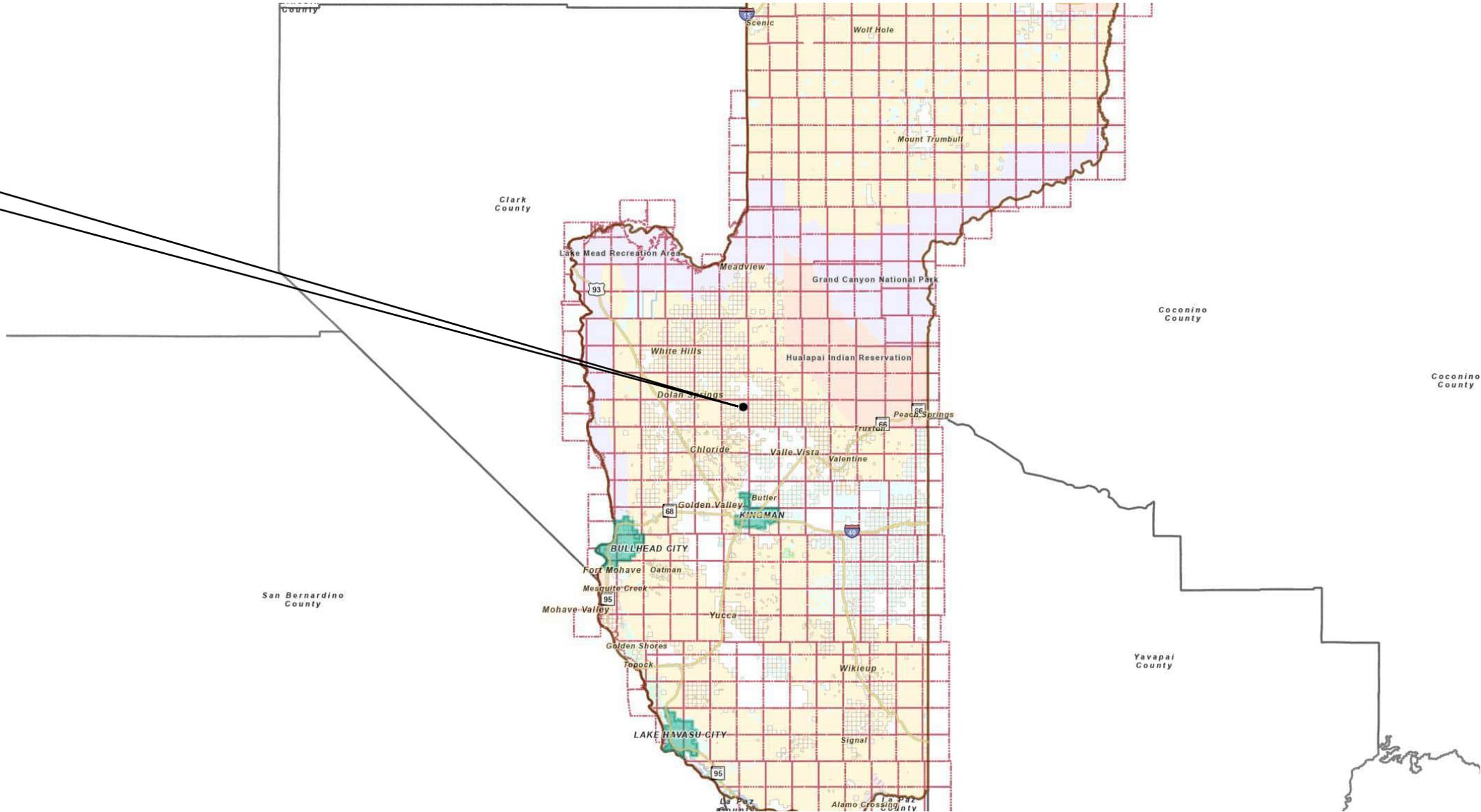
# REZONE 335-03-040

## GENERAL MAP

REZONE of Assessor's Parcel No. 335-03-040 from an A-R/36 Acre (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/10A & A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Red Lake vicinity.

Section 11  
T 25 N, R 17 W

Subject  
Property







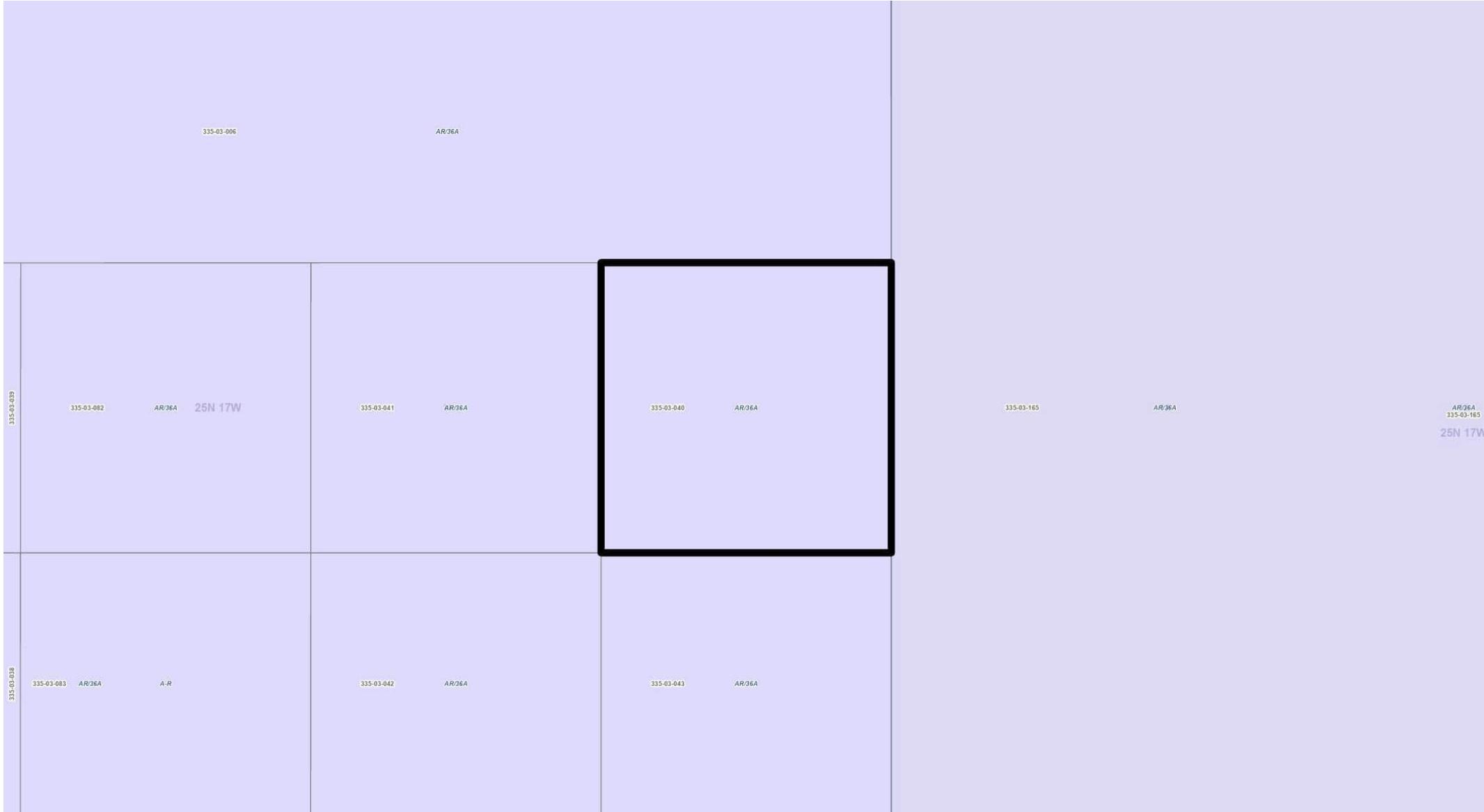
# REZONE 335-03-040

## ZONING MAP

REZONE of Assessor's Parcel No. 335-03-040 from an A-R/36 Acre (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/10A & A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Red Lake vicinity.

Section 11  
T 25 N, R 17 W

- |       |          |
|-------|----------|
| A     | R-M      |
| A-D   | R-MH     |
| A-R   | R-O      |
| C-1   | R-O/A    |
| C-2   | R-P      |
| C-2H  | R-TT     |
| CITY  | S-D/A    |
| C-M   | S-D/C    |
| C-MO  | S-D/C-1  |
| C-RE  | S-D/C-2  |
| E     | S-D/C-M  |
| M     | S-D/C-RE |
| M-2   | S-D/M    |
| MIXED | S-D/R    |
| M-X   | S-D/R-1  |
| N-P   | S-D/R-E  |
| R-1   | S-D/R-M  |
| R-2   | S-D/R-O  |
| R-E   |          |



# REZONE 335-03-040

## RIGHT OF WAY MAP

REZONE of Assessor's Parcel No. 335-03-040 from an A-R/36 Acre (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/10A & A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Red Lake vicinity.

Section 11  
T 25 N, R 17 W

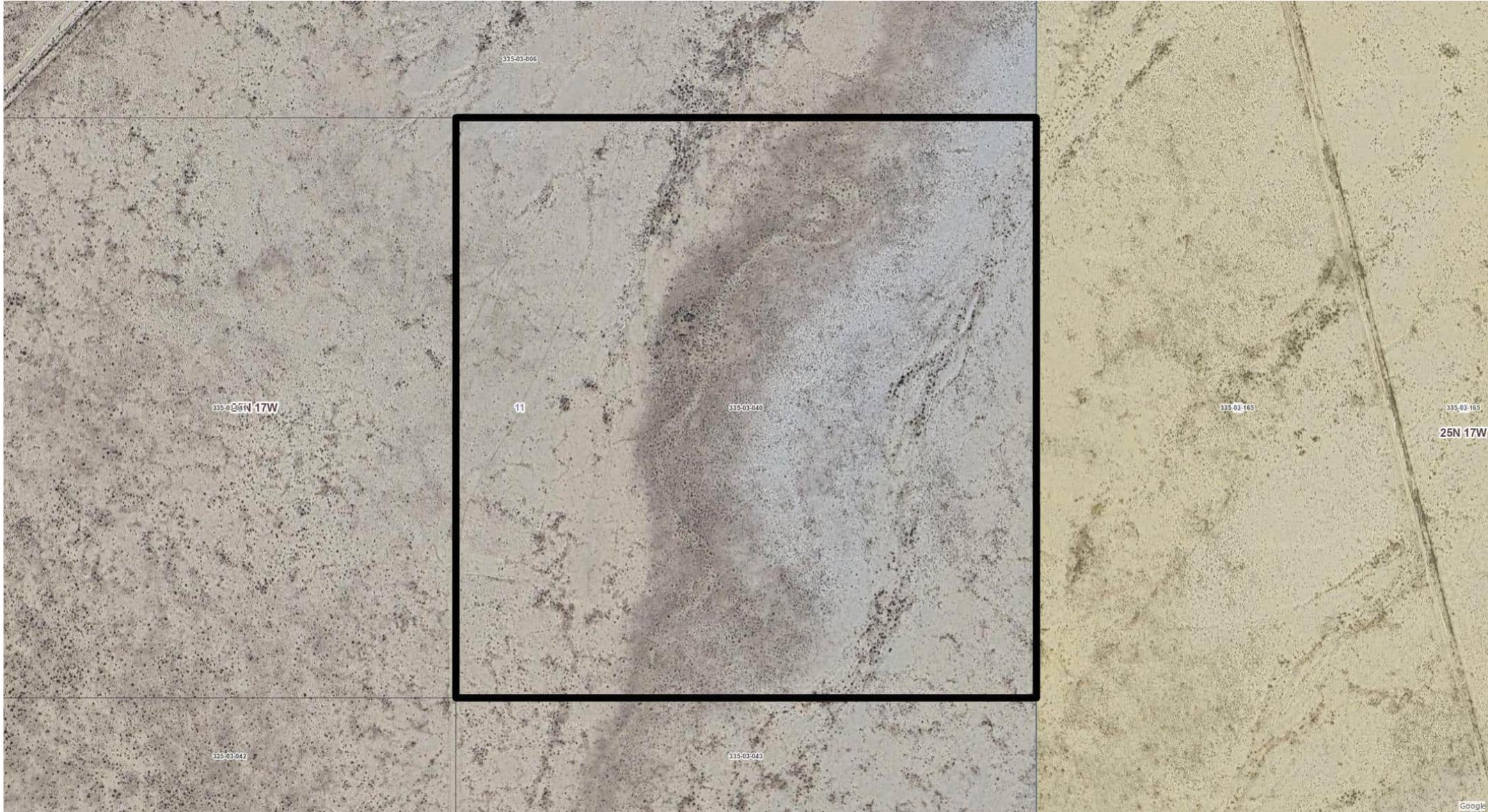
-  Drainage
-  Utility
-  Public
-  Not Perfected
-  RS 2477
-  Further Research Req
-  Not Public
-  No R/W



# REZONE 335-03-040 REQUEST

REZONE of Assessor's Parcel No. 335-03-040 from an A-R/36 Acre (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/10A & A-R/5A (Agricultural Residential/ Ten Acre and Five Acre minimum lot size) zone, to allow for a minor land division, in the Red Lake vicinity.

Section 11  
T 25 N, R 17 W





ZONING  
NOTICE



ZONING  
NOTICE

ZONING  
NOTICE

**\*\* ITEM 8 HAS BEEN POSTPONED TO FEBRUARY 2026 MEETING DATE \*\***

09. **Evaluation of a request for a REZONE of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone, for a minor land division in the Valle Vista vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to rezone the above-described property, as requested by Michael Surabian and Terry Richards of Hesperia, California.

Assessor's Parcel No. 344-17-009 is described as Parcel 30 (Hidden Meadows Unit 1) as shown on RS 17/47-47B in Section 35, Township 24 North, Range 16 West.

The site is approximately 40.08 acres and is located south of Calle Glen and east of Avenida Hafley. The site is accessed from Stockton Hill Road, then east on Calle Lucero, then north on Avenida El Camino, then east on Calle Glen Road approximately one (1) mile to the site.

The site appears vacant. The southern area of the property increases topography by 250 feet. The surrounding land uses consist of single-family homes and vacant land.

The applicant requests this rezone from an AR/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone, for a minor land division. The Mohave County General Plan designates this site as a Rural Development Area.

The site is not located within a fire district. Electric service appears to be available. Sewer and water services do not appear to be available. Calle Glen is not paved and not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4050H indicates the parcel described to be in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning similar to the above-proposed action.
- e. The site does not appear to have legal access.
- f. The topography increase appears to be an environmental feature affecting the site.
- g. Electric service appears to be available. Sewer and water services do not appear to be available.

## **STAFF RECOMMENDATION:**

### **Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to an A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone.
2. The submittal and recordation of a Parcel Plat prepared in accordance with Chapter 7, Minor Land Divisions, of the Mohave County Land Division Regulations, and 102.01-03 of the Standard Specifications and Details is required.
3. The gross acreage of the parent parcels and the total acreage of the resulting proposed parcels may differ, as the number of parcels, their configuration, and the possibility of the need for roadway easements and /or dedications will not ultimately be known until the approval and recordation of a parcel plat for this property. Each parcel shall meet or exceed its respective acreage, exclusive of roadways.
4. This conditional approval does not guarantee the applicant the number of parcels proposed, nor relieve them, nor the County from their obligations to comply with applicable state statutes and county regulations as a part of this land division. The number of parcels created in conjunction with this rezone may need to be reduced to be considered a minor land division. As a part of the review of this application and the subsequent parcel plat, Mohave County will determine if the resulting division would constitute a subdivision action, a common plan, or a case of acting in concert with other parties and may prescribe a course of processing consistent with Mohave County Land Division Regulations.
5. Roadway rights-of-way/easements shall be dedicated/granted as necessary to provide legal access to all parcels. Said rights-of-way/easements may be public or private. Any rights-of-way/easements dedicated/granted to the County shall be accepted by the Board of Supervisors. Mohave County Public Works will review the right-of-way/easement requirements with the Surveyor of Record prior to or during the Parcel Plat submittal.
6. All public easements granted and rights-of-way dedicated and shown on the Parcel Plat will be accepted by the Board of Supervisors upon Parcel Plat recordation.
7. Each parcel shall have legal access.
8. The applicable flood zone(s) shall be noted on the Parcel Plat.
9. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.
10. The appropriate permits will be obtained prior to construction.

11. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 344-17-009 Current Zoning: AR36A Parcel Size 40.0826 Acres

Legal Description:  
T24N R16W SEC 35 PARCEL 30 (HIDDEN MEADOWS UNIT 1) AS SHOWN ON RS 17/47-47B  
11/30/1998 98-72344 CONT 40.0826 ACRES 344-17-002(344-17-003 THRU 010)

Water Provider: N/A Electric provider: N/A Sewer provider: N/A

Present use of property: Vacant Land

## Owner Information

Owner Name(must match current deed): Michael V Surabian & Terry K Richards

Mailing Address: PO Box 400844 City: Hesperia State: CA Zip: 92345

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: 10 Acre lots AR10A

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

minor land division

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

Michael V Surabian  
Terry K Richards

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from AR36A  
to 10 Acre lots AR10A for the purpose of minor land division.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

  
Applicant Agent

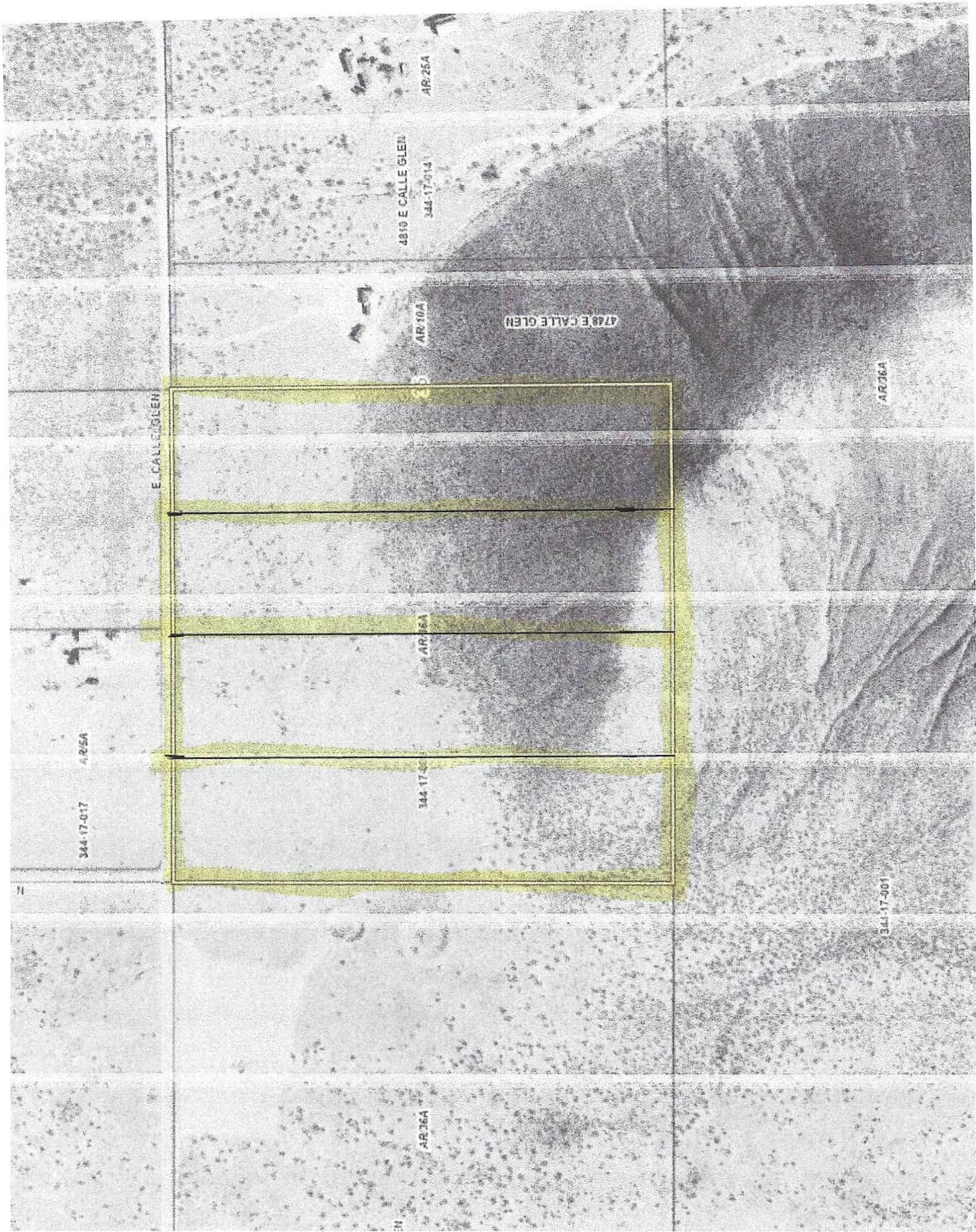
Contact information:

Michael V Richards and Terry K Richards

3900 N Stockton Hill Rd, #B451

Kingman, AZ 86409

Assessor Parcel Number and Legal Description of proposed subject property: 344-17-009  
T24N R16W SEC 35 PARCEL 30 (HIDDEN MEADOWS UNIT 1) AS SHOWN ON RS 17/47-47B  
11/30/1998 98-72344 CONT 40.0826 ACRES 344-17-002(344-17-003 THRU 010)



344-17-017  
AR 25A

E CALLE GLEN

344-17-018  
AR 25A

344-17-019  
AR 25A

344-17-014  
AR 25A

AR 10A

4749 E CALLE GLEN

AR 26A

344-17-001

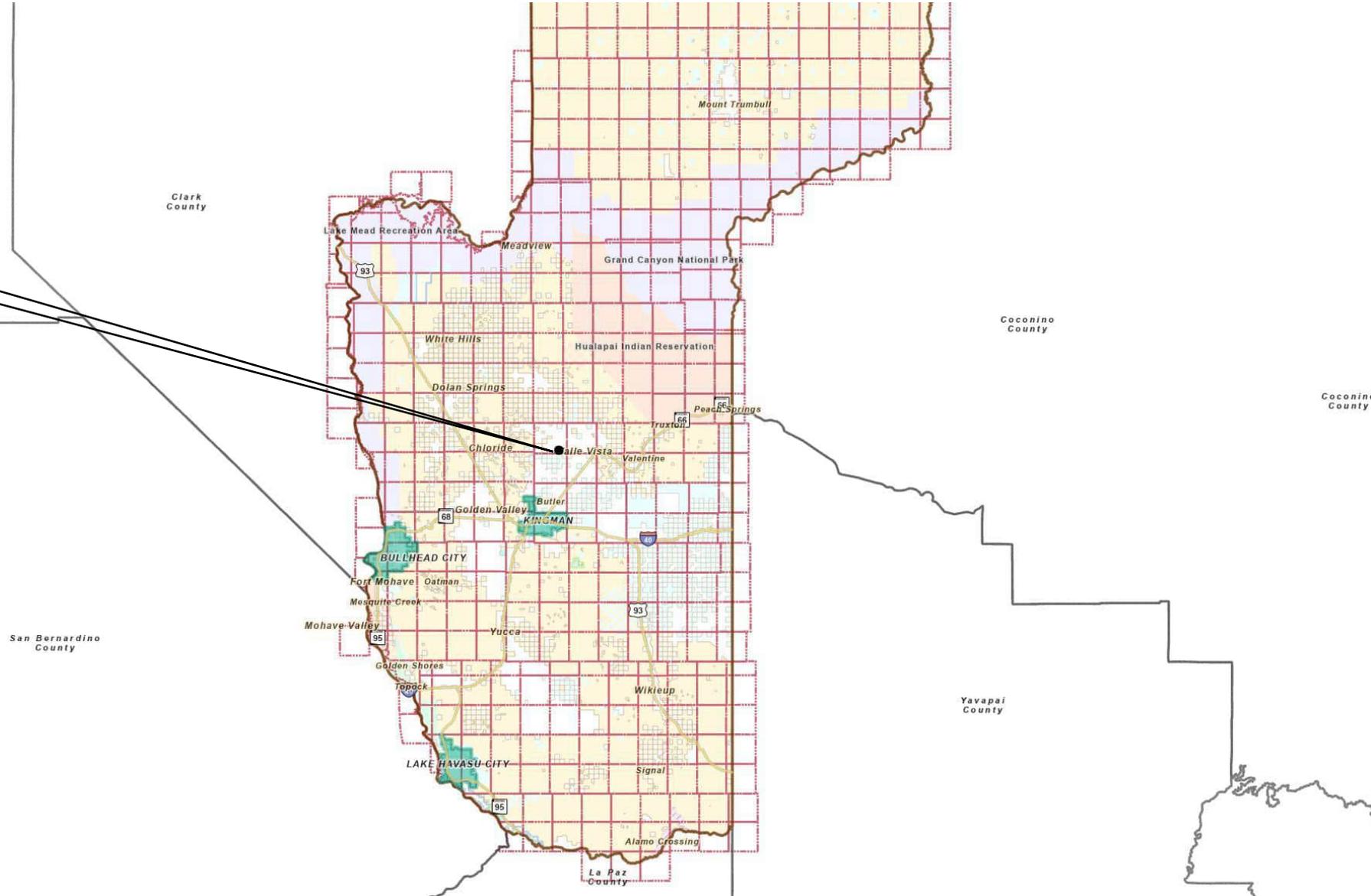
AR 26A

# REZONE 344-17-009 GENERAL MAP

REZONE of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/ Thirty- Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/ Ten Acre minimum lot size) zone, to allow for a minor land division, in the Valle Vista vicinity.

Section 35  
T 24 N, R 16 W

Subject  
Property







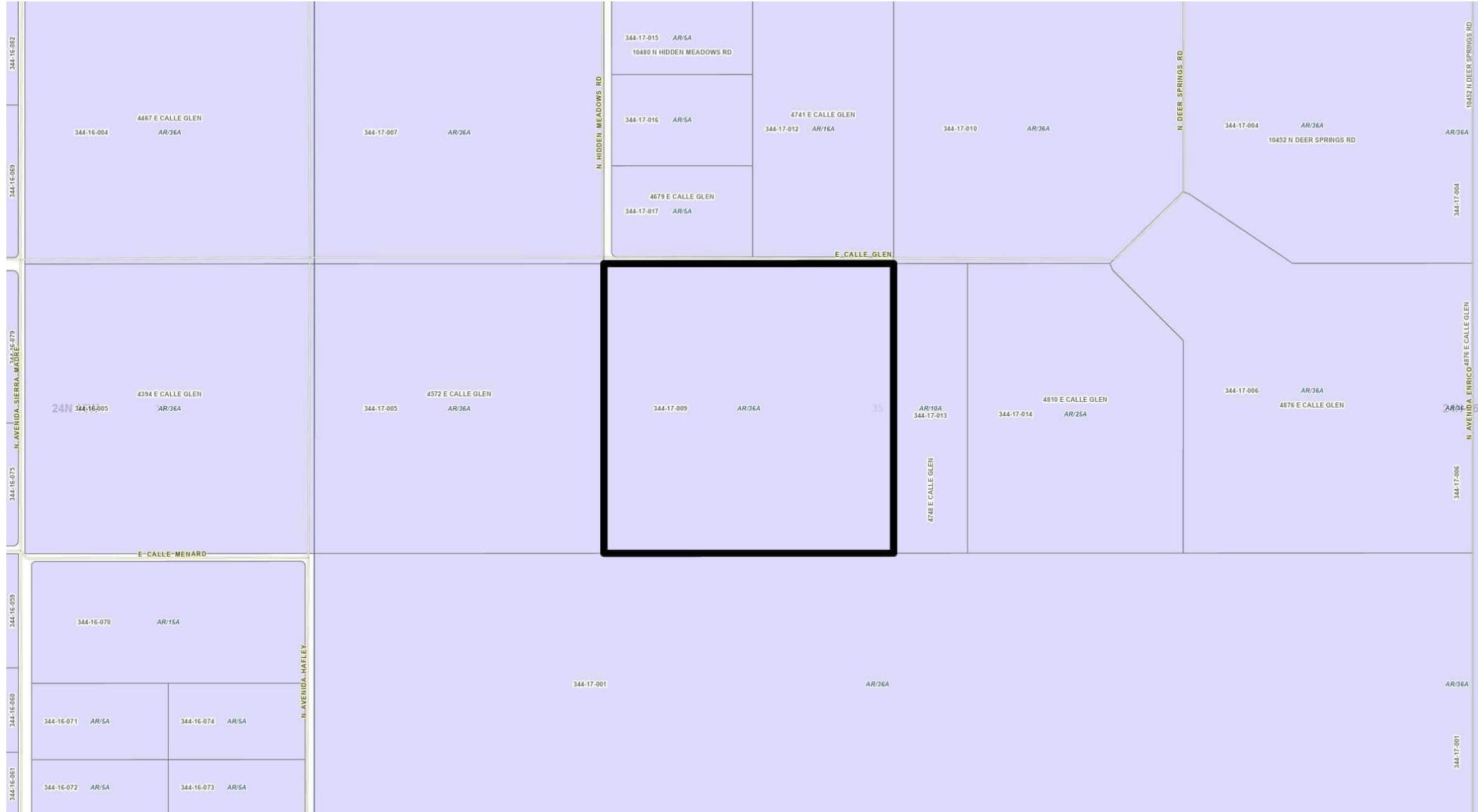
# REZONE 344-17-009

## ZONING MAP

REZONE of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/ Thirty- Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/ Ten Acre minimum lot size) zone, to allow for a minor land division, in the Valle Vista vicinity.

Section 35  
T 24 N, R 16 W

- |       |          |
|-------|----------|
| A     | R-M      |
| A-D   | R-MH     |
| A-R   | R-O      |
| C-1   | R-O/A    |
| C-2   | R-P      |
| C-2H  | R-TT     |
| CITY  | S-D/A    |
| C-M   | S-D/C    |
| C-MO  | S-D/C-1  |
| C-RE  | S-D/C-2  |
| E     | S-D/C-M  |
| M     | S-D/C-RE |
| M-2   | S-D/M    |
| MIXED | S-D/R    |
| M-X   | S-D/R-1  |
| N-P   | S-D/R-E  |
| R-1   | S-D/R-M  |
| R-2   | S-D/R-O  |
| R-E   |          |



# REZONE 344-17-009 RIGHT OF WAY MAP

REZONE of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/ Thirty- Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/ Ten Acre minimum lot size) zone, to allow for a minor land division, in the Valle Vista vicinity.

Section 35  
T 24 N, R 16 W

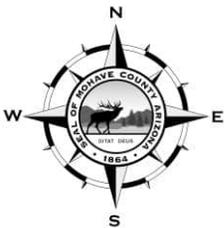
-  Drainage
-  Utility
-  Public
-  Not Perfected
-  RS 2477
-  Further Research Req
-  Not Public
-  No R/W



# REZONE 344-17-009 REQUEST

REZONE of Assessor's Parcel No. 344-17-009 from an A-R/36A (Agricultural Residential/ Thirty- Six Acre minimum lot size) zone to an A-R/10A (Agricultural Residential/ Ten Acre minimum lot size) zone, to allow for a minor land division, in the Valle Vista vicinity.

Section 35  
T 24 N, R 16 W





100410

## ZONING NOTICE

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Mohave County, 40000th St, for the regular meeting of the Commission, 700 W. Main Street, Kingman, Arizona, on Wednesday, January 14, 2020, at 10:00 A.M.

**As Noted:**  
The Commission will consider the proposed zoning change for the property located at 100410th St, Kingman, Arizona. The Commission will also consider the proposed zoning change for the property located at 100410th St, Kingman, Arizona. The Commission will also consider the proposed zoning change for the property located at 100410th St, Kingman, Arizona.

PHOTO COURTESY OF THE PLANNING AND ZONING COMMISSION OF MOHAVE COUNTY, ARIZONA. PHOTOGRAPH BY JESSICA L. HARRIS.

10. **Evaluation of a request for a REZONE of Assessor's Parcel Nos. 310-25-013A through -013E from an AR/5A (Agricultural Residential/Five Acre minimum lot size) and an AR/10A (Agricultural Residential/Ten Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for an agricultural residential subdivision in the Kingman vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to rezone the above-described property, as requested by KTH Consulting for Heritage Enterprises, LLC, of Kingman, Arizona.

Assessor's Parcel Nos. 310-25-013A through -013E are described as Stockton Hill Ranches Unit 11 Parcels 533-A, 533-B, 533-C, 533-D and 533-E on Parcel Plat 15/42, located in Section 7, Township 22 North, Range 16 West.

The sites combined are approximately 36.26 acres and are located south of Calle Castano east of Cherum Road. The site is accessed from Stockton Hill Road then east on Cactus Wren Road then north on Cherum Road, then east on Calle Blanca approximately 76 miles to the southwest corner of 310-25-013E.

The sites appear to be vacant. The terrain appears flat. The surrounding land uses consists of vacant land and scattered single family homes.

The applicant requests this rezone from a A-R/5A (Agricultural Residential/Five Acre minimum lot size) and A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zones to an A-R (Agricultural Residential) zone to allow for an agricultural residential subdivision. The Mohave County General Plan designates this site as Suburban Residential.

The sites are in the Northern Arizona Fire District. Electric and water services appear to be available. Sewer service does not appear to be available. Calle Blanca is not paved and is on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4300H indicates parcels 310-25-013A, B, C and D are described to be in Zone X, not in the Special Flood Hazard Area. Parcel 310-25-013E has approximately .26 acres on the southwest corner of the lot to be in Zone A, a special Flood Hazard Area.

## **FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning and uses similar to the above-proposed action.
- e. The site appears to have legal access via unpaved roads.
- f. Flood Zone A partly on parcel 310-25-013E is an environmental feature affecting the sites.

- g. Electric and water service appears to be available. Sewer service does not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The sites will be rezoned to A-R (Agricultural Residential).
2. The Rezone will become effective upon the recordation of the Final Plat or for each phase of the Final Plat if the subdivision is phased.
3. Legal access shall be obtained and provided for all created parcels.
4. All parcels shall meet the necessary minimum lot size requirements at the time of Final Plat approval.
5. The appropriate permits shall be obtained prior to construction.
6. The application shall comply with all the applicable provisions of the Mohave County Zoning Ordinance and the Mohave County Land Division Regulations.
7. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 310-25-013(A,B,C,D,E) Current Zoning: AR/SA & AR/10A Parcel Size 36.26 Acres

Legal Description:

STOCKTON HILL RANCHES UNIT 11, per P.P. 1/79-80, PARCEL 533, DIVIDED AS 533-A, 533-B, 533-C, 533-D, AND 533-E ON P.P. 15/42, A PORTION OF SEC 7, T22N, R16W.

Water Provider: FOOTHILLS UTILITIES Electric provider: UNS ELECTRIC Sewer provider: SEPTIC

Present use of property: VACANT, UNDEVELOPED LAND

## Owner Information

Owner Name(must match current deed): HERITAGE ENTERPRISES, LLC

Mailing Address: P.O. Box 3007 City: KINGMAN State: AZ Zip: 86402

Phone number: [REDACTED] Email: [REDACTED]

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: KTH CONSULTING / KATHY TACKETT-HICKS

Mailing Address: 3751 MARTINGALE DRIVE City: KINGMAN State: AZ Zip: 86409

Phone number: [REDACTED] Email: [REDACTED]

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: AR/1A

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

DEVELOPING AN AGRICULTURAL-RESIDENTIAL SUBDIVISION WITH MIN. ONE(1) ACRE SIZED LOTS TO MATCH ADJACENT PROPERTIES,

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

[Signature] 11/19/25

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# ARTICLES OF AMENDMENT TO ARTICLES OF ORGANIZATION

## LIMITED LIABILITY COMPANY

### ENTITY INFORMATION

**ENTITY NAME:** HERITAGE ENTERPRISES LLC  
**ENTITY ID:** L17432677  
**ENTITY TYPE:** Domestic LLC  
**PERIOD OF DURATION:** Perpetual  
**PROFESSIONAL SERVICES:**  
**CHARACTER OF BUSINESS:** Any legal purpose  
**MANAGEMENT STRUCTURE:** Manager-Managed

**FORMER ENTITY NAME** No name change

### STATUTORY AGENT INFORMATION

**STATUTORY AGENT NAME:** Scott K Lander  
**PHYSICAL ADDRESS:** 420 Lomas Flojas, KINGMAN, AZ 86409  
**MAILING ADDRESS:** P.O.Box 3007, KINGMAN, AZ 86402

### KNOWN PLACE OF BUSINESS

P.O.Box 3007, KINGMAN, AZ 86402

### PRINCIPALS

Member: SJ Lander Family Trust - 420 Lomas Flojas St., KINGMAN, AZ, 86409, USA - - Date of Taking Office: 12/10/2024

Member and Manager: SCOTT K LANDER - 420 Lomas Flojas St., KINGMAN, AZ, 86409, USA - - Date of Taking Office: 02/29/2012

### SIGNATURE

Authorized Agent: John Browder - 12/10/2024

FEB 29 2012

FILE NO. L-1743267-7  
DO NOT WRITE ABOVE THIS LINE, FOR ACC USE ONLY

### ARTICLES OF ORGANIZATION

DO NOT PUBLISH THIS SECTION  
NOTE: A professional limited liability company is an LLC organized for the purpose of rendering one or more categories of professional service. Professional service is defined as a service that may be lawfully rendered only by a person licensed in this state to render the service.

Select one. This form may be used for:

- ARIZONA LIMITED LIABILITY COMPANY (A.R.S. §29-632)
- ARIZONA PROFESSIONAL LIMITED LIABILITY COMPANY (A.R.S. §29-841.01)

#### 1. The name of the organization:

A. \_\_\_\_\_  
LLC Name Reservation File Number (if one has been obtained). If not, leave this line blank

B. Heritage Enterprises LLC  
Limited Liability Company Name

1. The LLC name must contain the words "limited liability company" or "limited company" or the abbreviations "L.L.C.", "L.C.", "LLC", or "LC". The Professional LLC name must contain the words "professional limited liability company" or the abbreviations "P.L.L.C.", "P.L.C.", "PLLC", or "PLC."

#### 2. Known place of business in Arizona (If address is the same as the street address of the statutory agent, write "same as statutory agent". DO NOT LEAVE THIS SECTION BLANK)

Address 631 Canyon Hills Rd

City Kingman State AZ Zip 86409

2. Must be an Arizona address. DO NOT LEAVE THIS SECTION BLANK

#### 3. The name and street address of the statutory agent in Arizona

Name William A. Wales

Address 2614 Marlene Ave

City Kingman State AZ Zip 86401

3. If the statutory agent has a PO BOX then they must also provide a physical address or description of the location.

The agent must sign the articles or provide written consent to acceptance of the appointment.

#### Acceptance of Appointment by Statutory Agent:

I William A. Wales, having been designated to act as  
(Print Name of the Statutory Agent)  
Statutory Agent, hereby consent to act in that capacity until removed or resignation is submitted in accordance with the Arizona Revised Statute.

Agent Signature: William A. Wales

If signing on behalf of a company, please print the company name here.

**DO NOT PUBLISH THIS SECTION**

4. Only required for professional limited liability company. The purpose must state the professional service or services that the company is organized to perform. Professional service is defined as a service that may be lawfully rendered only by a person licensed in this state to render the service.

5. The latest date, if any, on which the Company must dissolve. If a dissolution date should include the month, day and year. *Perpetual means continuing forever or indefinitely*

6. Check which management structure will be applicable to your company. Provide name, title and address for each person.

6A. If reserved to the member(s), check the member's box and provide the name(s) and address (es) of each member. NOTE: if reserved to the member(s) you cannot list any manager.

6B. If vested in manager(s) check the manager's box and provide the name(s) and address (es) of each manager and each member who owns a twenty (20%) percent or greater interest in the capital or profits of the LLC/ PLLC.

The person (s) executing this document need not be a manager or member of the company.

**4. Purpose of this (Professional) Limited Liability Company is to provide the following (professional) service(s): (Only required for a Professional LLC Company)**

\_\_\_\_\_

**5. Dissolution: The latest date of Dissolution**

The latest date to dissolve \_\_\_/\_\_\_/\_\_\_ (Please enter month, day and four digit year)  
 The Limited Liability Company is Perpetual

**6. Management Structure: (Check one box only) A.R.S. §29-632(5)**

<b>A. <input checked="" type="checkbox"/> RESERVED TO THE MEMBER(S)</b> IF RESERVED TO THE MEMBER(S), YOU MAY SELECT ONLY THE MEMBER BOX FOR EACH MEMBER LISTED.	<b>B. <input type="checkbox"/> VESTED IN MANAGER(S)</b> IF VESTED IN THE MANAGER(S), AT LEAST ONE ENTRY BELOW MUST HAVE THE MANAGER BOX CHECKED.
Name <u>Scott K. Lander</u>	Name <u>Jamie L. Lander</u>
<input checked="" type="checkbox"/> Member <input type="checkbox"/> Manager (only if "B" is selected above)	<input checked="" type="checkbox"/> Member <input type="checkbox"/> Manager (only if "B" is selected above)
Address: <u>631 Canyon Hills Rd</u>	Address: <u>631 Canyon Hills Rd</u>
City, <u>Kingman</u> State, <u>AZ</u> Zip: <u>86409</u>	City, <u>Kingman</u> State, <u>AZ</u> Zip: <u>86409</u>
Name _____	Name _____
<input type="checkbox"/> Member <input type="checkbox"/> Manager (only if "B" is selected above)	<input type="checkbox"/> Member <input type="checkbox"/> Manager (only if "B" is selected above)
Address: _____	Address: _____
City, _____ State, _____ Zip: _____	City, _____ State, _____ Zip: _____

IF YOU NEED MORE SPACE FOR LISTING MEMBERS / MANAGERS PLEASE ATTACH THE ADDITIONAL PAGE TO THE ARTICLES OF ORGANIZATION.

Executed this 27<sup>th</sup> day of February, 2012  
Executed by: [Signature] Print Name Scott K. Lander  
\_\_\_\_\_  
If signing on behalf of a company, please print the company name here.

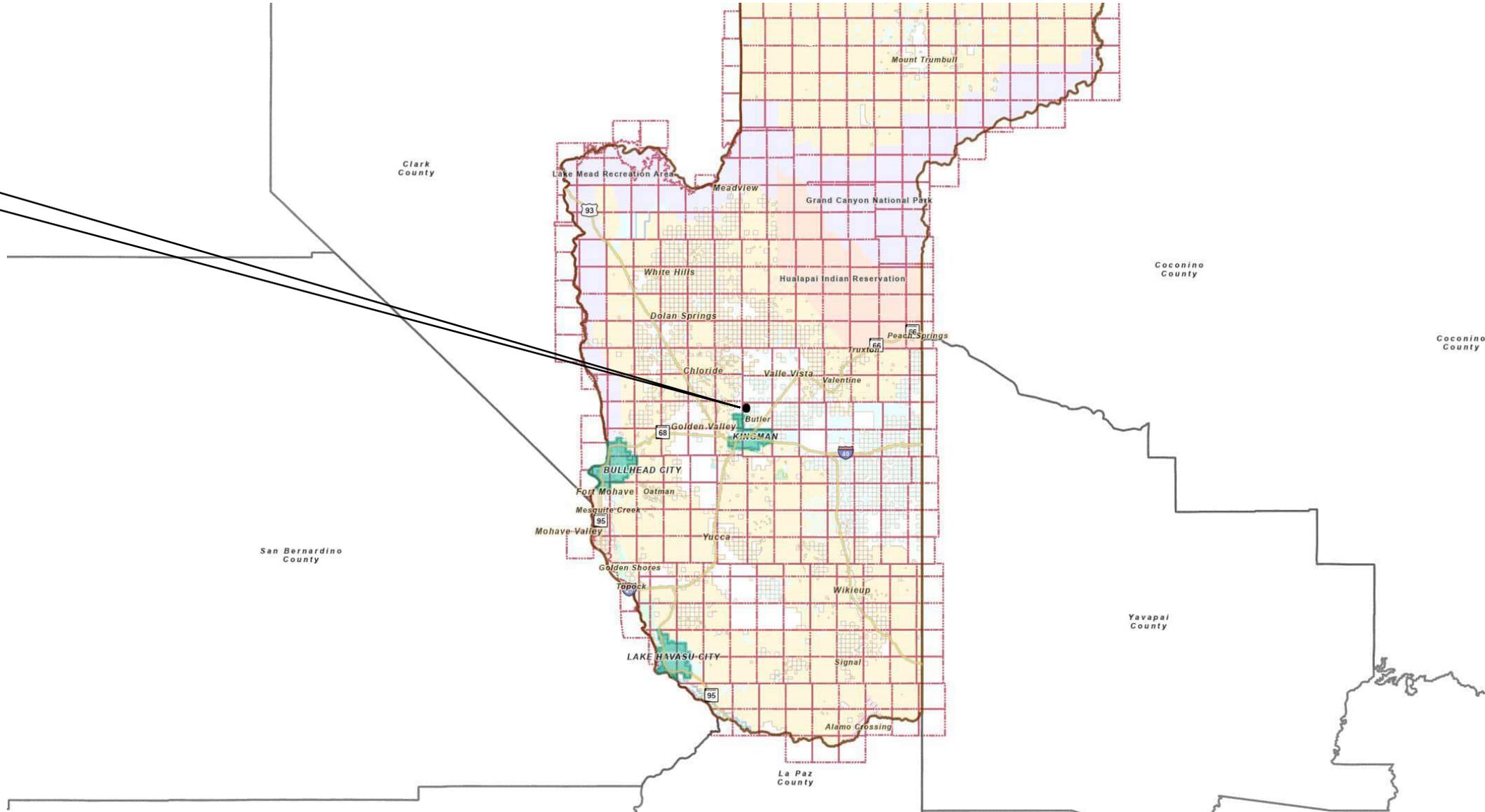
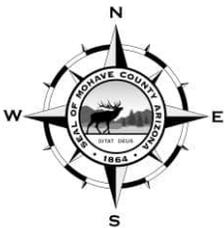
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_

# REZONE 310-25-013A thru E GENERAL MAP

REZONE of Assessor's Parcel No. 310-25-013A, B, C, D & E from an A-R/5A (Agricultural Residential/Five Acre minimum lot size) and A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for an agricultural residential subdivision, in the Kingman vicinity.

Section 7  
T 22 N, R 16 W

Subject  
Property

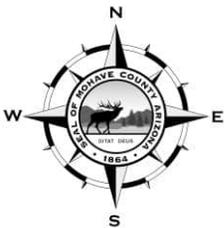




# REZONE 310-25-013A thru E SITE MAP

REZONE of Assessor's Parcel No. 310-25-013A, B, C, D & E from an A-R/5A (Agricultural Residential/Five Acre minimum lot size) and A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for an agricultural residential subdivision, in the Kingman vicinity.

Section 7  
T 22 N, R 16 W







# REZONE 310-25-013A thru E REQUEST

REZONE of Assessor's Parcel No. 310-25-013A, B, C, D & E from an A-R/5A (Agricultural Residential/Five Acre minimum lot size) and A-R/10A (Agricultural Residential/Ten Acre minimum lot size) zone to an A-R (Agricultural Residential) zone, to allow for an agricultural residential subdivision, in the Kingman vicinity.

Section 7  
T 22 N, R 16 W





**ZONING  
NOTICE**

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Mohave County, Arizona at the regular meeting room of the Commission, 100 W. Bank Street, Kingman, Arizona, on Wednesday, January 14, 2024, at 3:00 A.M.

For more information, please contact the Planning and Zoning Commission at 100 W. Bank Street, Kingman, Arizona, 909-795-1234. The hearing is open to the public and anyone wishing to speak at the hearing should contact the Planning and Zoning Commission at least 48 hours in advance of the hearing.

COMMISSIONERS: [unreadable]



11. **Evaluation of a request for a REZONE of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/30A (Agricultural Residential/Thirty acre minimum lot size zone) and A-R/6A (Agricultural Residential/Six Acre minimum lot size) zone, for a minor land division in the Hackberry vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to rezone the above-described property, as requested by Troy and Margaret Grimes of Kingman, Arizona.

Assessor's Parcel No. 313-76-003 is described as Parcel 81 Spring Valley Ranches Unit II Plat ID 2003A 4-28-98 98-24422 of Section 1, Township 22 North, Range 14 West.

The site is approximately 39.48 acres and is located east of Frerichs Ranch Road and south of Rancho Mirada Lane. The site is accessed from State Route 66, then south on Hackberry Road, then west on Spring Valley Drive, then south on Frerichs Ranch Road, approximately 2.08 miles to the site.

The site appears to have a single family residence and the terrain appears to be relatively hilly. The surrounding land uses consist of single family residences and vacant land.

The applicant requests this rezone from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/30A (Agricultural Residential/Thirty Acre minimum lot size) zone and A-R/6A (Agricultural Residential/Six Acre minimum lot size) zone, for a minor land division. The Mohave County General Plan designates this site as Rural Development Area.

The site is not located within a fire district. Electric, sewer, and water services do not appear to be available. Frerichs Ranch Road is unpaved and is not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4375G indicates the parcel described to be in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area does not contain other zoning and densities similar to the above-proposed action.
- e. The site does appear to have legal access via unpaved roads.
- f. There does not appear to be any environmental features affecting the site.
- g. Electric, sewer, and water services do not appear to be available.

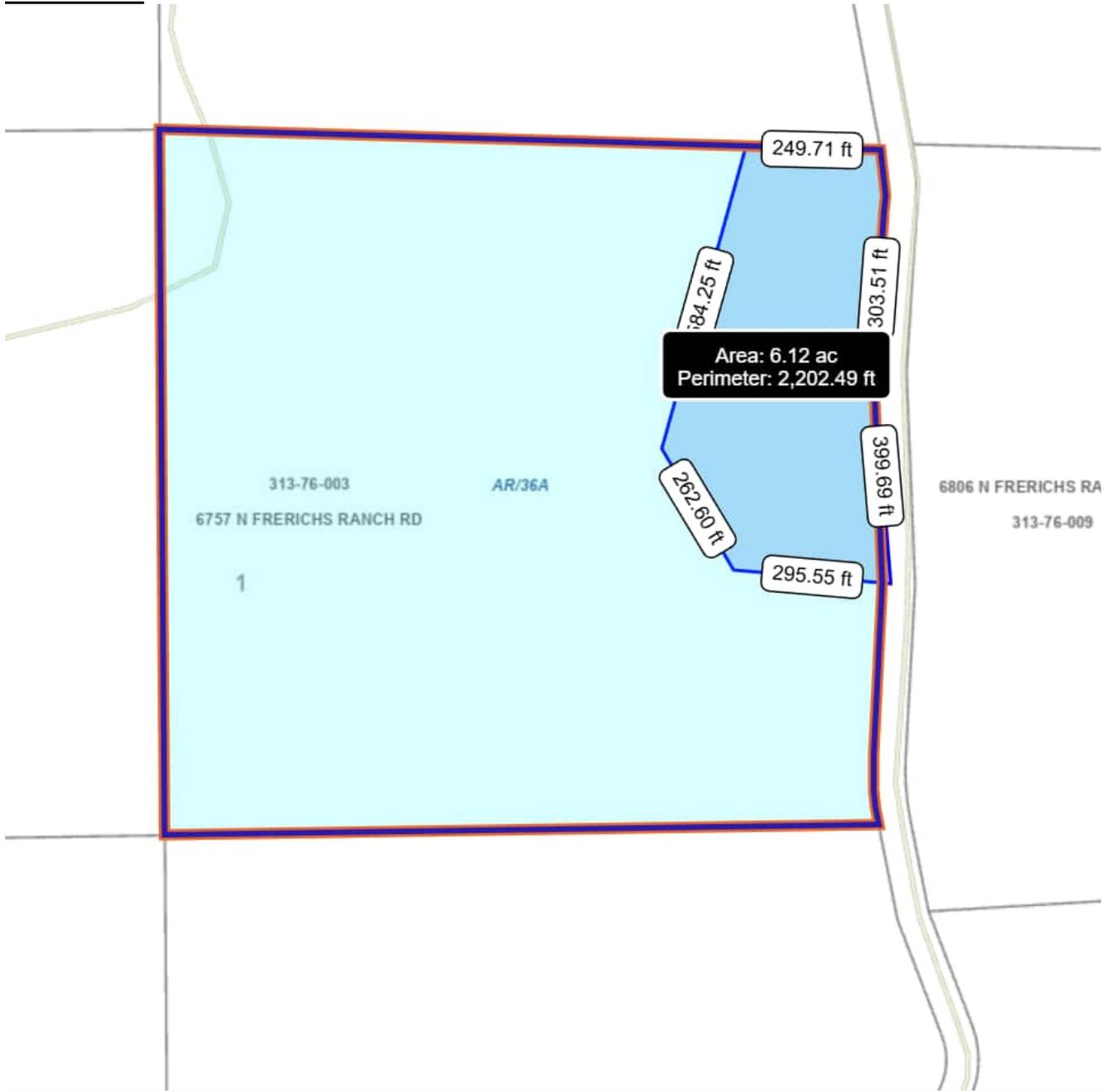
## **STAFF RECOMMENDATION:**

### **Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to an A-R/30A (Agricultural Residential/Thirty Acre minimum lot size) and A-R/6A (Agricultural Residential/Six Acre minimum lot size) zone.
2. The submittal and recordation of a Parcel Plat prepared in accordance with Chapter 7, Minor Land Divisions, of the Mohave County Land Division Regulations, and 102.01-03 of the Standard Specifications and Details is required.
3. The gross acreage of the parent parcels and the total acreage of the resulting proposed parcels may differ, as the number of parcels, their configuration, and the possibility of the need for roadway easements and/or dedications will not ultimately be known until the approval and recordation of a parcel plat for this property. Each parcel shall meet or exceed its respective acreage, exclusive of roadways.
4. This conditional approval does not guarantee the applicant the number of parcels proposed, nor relieve them, nor the County from their obligations to comply with applicable state statutes and county regulations as a part of this land division. The number of parcels created in conjunction with this rezone may need to be reduced to be considered a minor land division. As a part of the review of this application and the subsequent parcel plat, Mohave County will determine if the resulting division would constitute a subdivision action, a common plan, or a case of acting in concert with other parties and may prescribe a course of processing consistent with Mohave County Land Division Regulations.
5. Roadway rights-of-way/easements shall be dedicated/granted as necessary to provide legal access to all parcels. Said rights-of-way/easements may be public or private. Any rights-of-way/easements dedicated/granted to the County shall be accepted by the Board of Supervisors. Mohave County Public Works will review the right-of-way/easement requirements with the Surveyor of Record prior to or during the Parcel Plat submittal.
6. All public easements granted and rights-of-way dedicated and shown on the Parcel Plat will be accepted by the Board of Supervisors upon Parcel Plat recordation.
7. Each parcel shall have legal access.
8. The applicable flood zone(s) shall be noted on the Parcel Plat.
9. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.
10. The appropriate permits will be obtained prior to construction.

11. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

**EXHIBIT A**



# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 313-76-003 Current Zoning: AR36 Parcel Size: 39.86 Acres

Legal Description:

Parcel as shown on Record of Survey Valley Ranches Unit 2 Recorded April 28, 1998 at Fee No. 98-24422 Address of Record: 6757 Friends Ranch Rd Hackberry, AZ 86411

Water Provider: NONE Electric provider: NONE Sewer provider: SEPTIC

Present use of property: Agricultural with 1 home

## Owner Information

Owner Name (must match current deed): Troy L. Grimes & Margaret R. Grimes

Mailing Address: 7252 E. Cochise Dr City: Kingman State: AZ Zip: 86401

Phone number: [REDACTED] Email: \_\_\_\_\_

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: N/A

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: AR30 & AR16

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

MINOR LAND DIVISION

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

\* Margaret R. Grimes  
x Troy L. Grimes

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below - captioned property from AR36  
to AR30 for the purpose of MINOR LAND DIVISION

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

*Margaret R. Francis*  
Applicant / agent

Contact information:

[REDACTED]

Assessor Parcel Number and Legal Description of proposed subject property: Parcel # 313-76-003  
Parcel 81, AS SHOWN ON RECORD OF SURVEY, Spring Valley Ranches Unit 2  
Recorded April 28, 1998 at Fee # 98-24422 being a dependent parcel  
Address of Record: 6757 Frenches Ranch Rd Hackberry AZ 86411



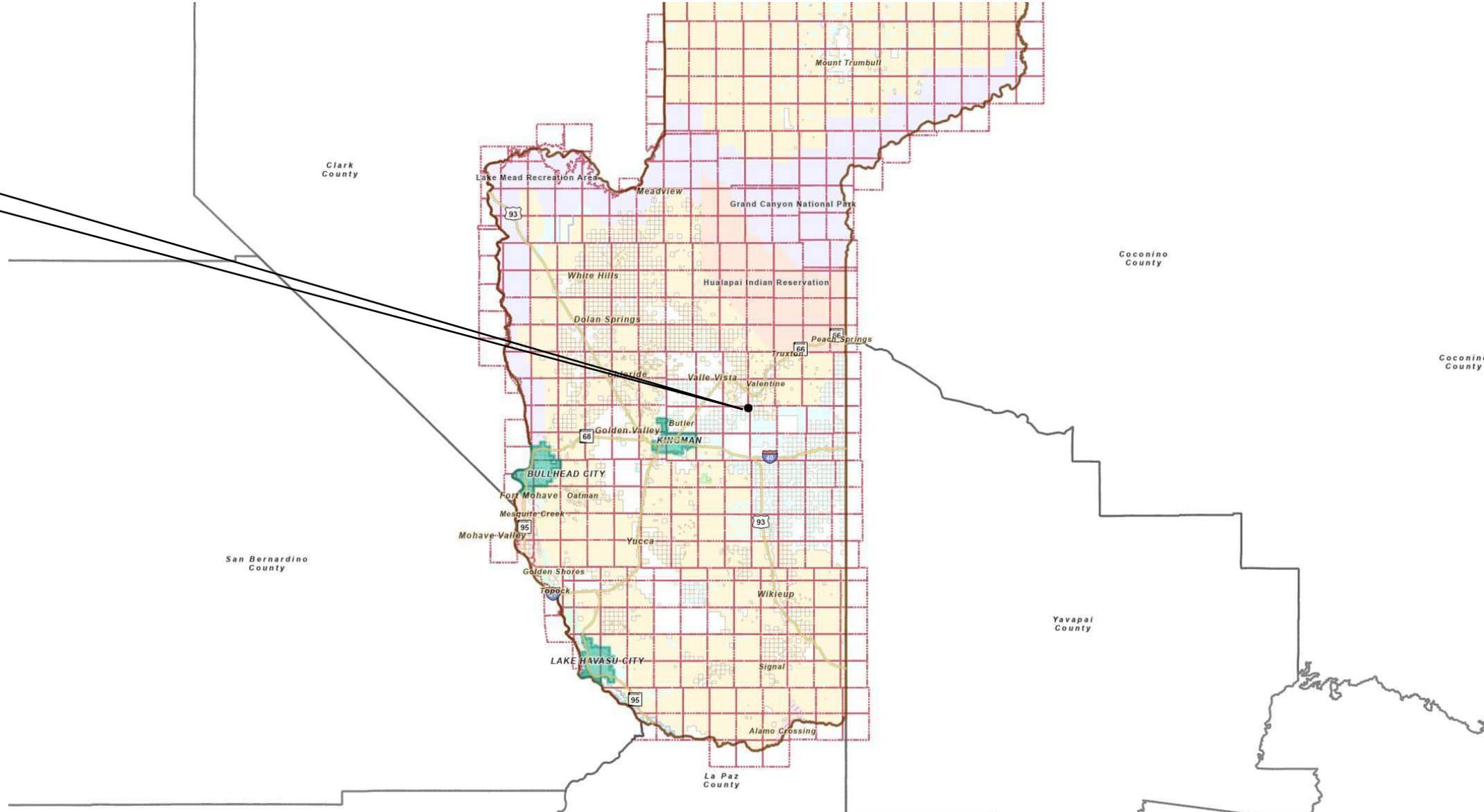
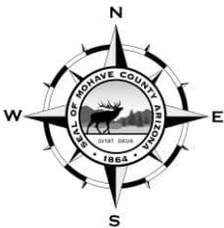
# REZONE 313-76-003

## GENERAL MAP

REZONE of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/30A and AR/6A (Agricultural Residential/ Thirty Acre and Six Acre minimum lot size zone) zone, to allow for a minor land division, in the Hackberry vicinity.

Section 1  
T 22 N, R 14 W

Subject  
Property





# REZONE 313-76-003

## SITE MAP

REZONE of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/30A and AR/6A (Agricultural Residential/ Thirty Acre and Six Acre minimum lot size zone) zone, to allow for a minor land division, in the Hackberry vicinity.

Section 1  
T 22 N, R 14 W



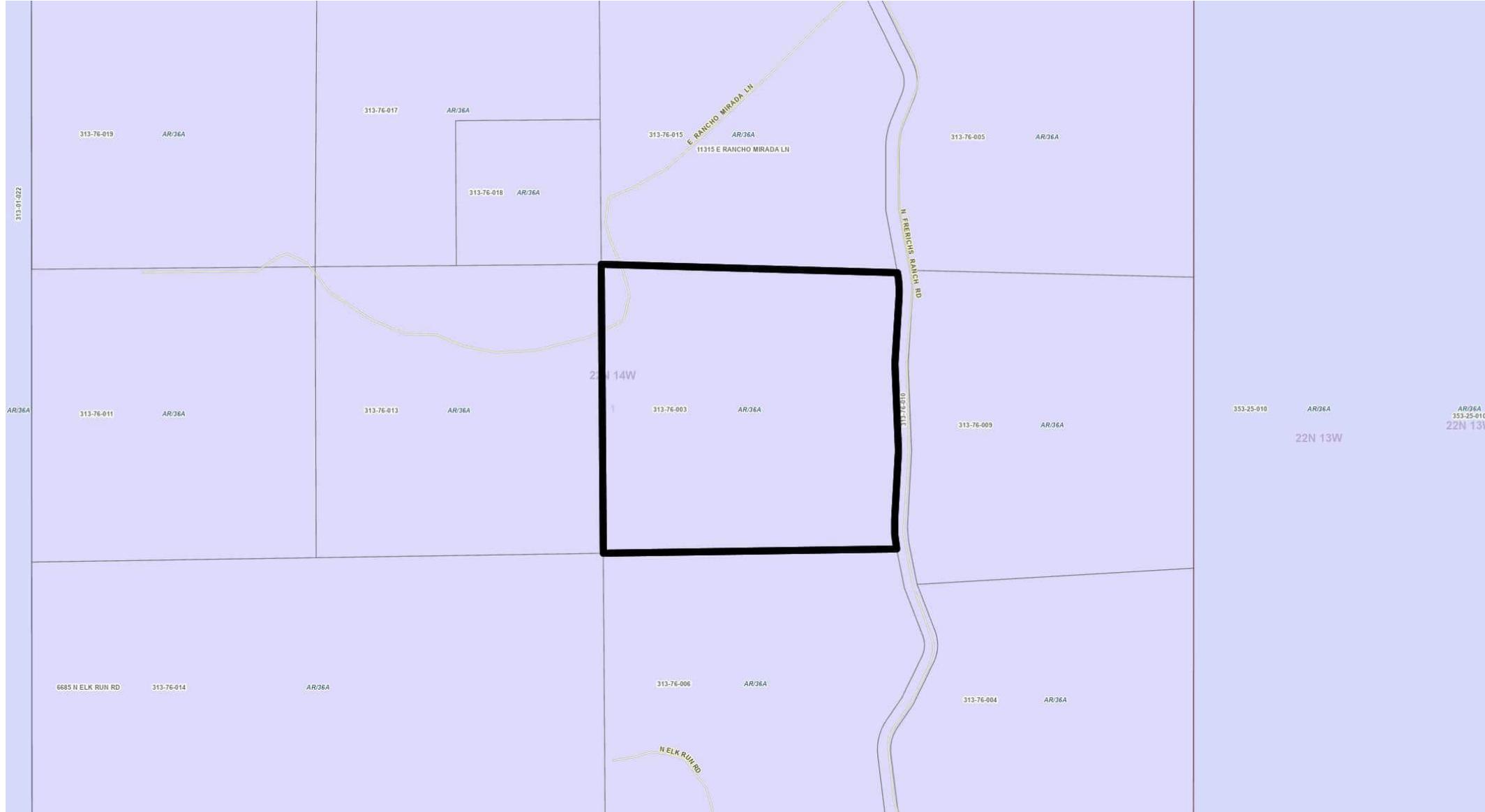
# REZONE 313-76-003

## ZONING MAP

REZONE of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/30A and AR/6A (Agricultural Residential/ Thirty Acre and Six Acre minimum lot size zone) zone, to allow for a minor land division, in the Hackberry vicinity.

Section 1  
T 22 N, R 14 W

- |       |          |
|-------|----------|
| A     | R-M      |
| A-D   | R-MH     |
| A-R   | R-O      |
| C-1   | R-O/A    |
| C-2   | R-P      |
| C-2H  | R-TT     |
| CITY  | S-D/A    |
| C-M   | S-D/C    |
| C-MO  | S-D/C-1  |
| C-RE  | S-D/C-2  |
| E     | S-D/C-M  |
| M     | S-D/C-RE |
| M-2   | S-D/M    |
| MIXED | S-D/R    |
| M-X   | S-D/R-1  |
| N-P   | S-D/R-E  |
| R-1   | S-D/R-M  |
| R-2   | S-D/R-O  |
| R-E   |          |





# REZONE 313-76-003 REQUEST

REZONE of Assessor's Parcel No. 313-76-003 from an A-R/36A (Agricultural Residential/ Thirty-Six Acre minimum lot size) zone to an A-R/30A and AR/6A (Agricultural Residential/ Thirty Acre and Six Acre minimum lot size zone) zone, to allow for a minor land division, in the Hackberry vicinity.

Section 1  
T 22 N, R 14 W







12. **Evaluation of a request for a REZONE of Assessor's Parcel No. 204-16-017 from an AR/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an AR/5A (Agricultural Residential/Five Acre minimum lot size) zone, to bring the property in to compliance and allow for a minor land division, in the Kingman vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted to Rezone the above-described property as requested by Connie Kuehn on behalf of Greg and Teresa Bean of Yuma, Arizona.

Assessor's Parcel No. 204-16-017 is described as the S1/2 NE1/4 SW1/4 of Section 7, Township 20 North, Range 14 West.

The site is approximately 20 acres and is located south of Mountain Shadow Road and east of Singer Road. The site is accessed from Interstate 40, then south on Blake Ranch Road, then east on Mountain Shadow Road, then south on Singer Road approximately .13 miles to the northwest corner of the lot.

The site is vacant with relatively flat, heavily treed terrain. The surrounding land uses consist of vacant public and private land and scattered single-family residences.

The applicant requests this Rezone from an AR/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an AR/5A (Agricultural Residential/Five Acre minimum lot size) zone to bring the property in to compliance and allow for a minor land division. The Mohave County General Plan designates this site as a Rural Development Area.

The site does not appear to be within a fire district. Electric, water, and sewer services do not appear to be available in the area. Singer Road is unpaved and is not on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4625H indicates the parcel described to be in Zone X, not in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan, as amended by this item.
- c. The site appears adequate for the intended action.
- d. The neighboring area contains other zoning and densities similar to the above-proposed action.
- e. The site appears to have legal access via unpaved roads.
- f. There do not appear to be any significant environmental features affecting the site.
- g. Electric, water, and sewer services do not appear to be available.

## **STAFF RECOMMENDATION:**

### **Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to an AR/5A (Agricultural Residential/Five Acre minimum lot size) zone.
2. The submittal and recordation of a Parcel Plat prepared in accordance with Chapter 7, Minor Land Divisions, of the Mohave County Land Division Regulations, and 102.01-03 of the Standard Specifications and Details is required.
3. The gross acreage of the parent parcels and the total acreage of the resulting proposed parcels may differ, as the number of parcels, their configuration, and the possibility of the need for roadway easements and /or dedications will not ultimately be known until the approval and recordation of a parcel plat for this property. Each parcel shall meet or exceed its respective acreage, exclusive of roadways.
4. This conditional approval does not guarantee the applicant the number of parcels proposed, nor relieve them, nor the County from their obligations to comply with applicable state statutes and county regulations as a part of this land division. The number of parcels created in conjunction with this rezone may need to be reduced to be considered a minor land division. As a part of the review of this application and the subsequent parcel plat, Mohave County will determine if the resulting division would constitute a subdivision action, a common plan, or a case of acting in concert with other parties and may prescribe a course of processing consistent with Mohave County Land Division Regulations.
5. Roadway rights-of-way/easements shall be dedicated/granted as necessary to provide legal access to all parcels. Said rights-of-way/easements may be public or private. Any rights-of-way/easements dedicated/granted to the County shall be accepted by the Board of Supervisors. Mohave County Public Works will review the right-of-way/easement requirements with the Surveyor of Record prior to or during the Parcel Plat submittal.
6. All public easements granted and rights-of-way dedicated and shown on the Parcel Plat will be accepted by the Board of Supervisors upon Parcel Plat recordation.
7. Each parcel shall have legal access.
8. The applicable flood zone(s) shall be noted on the Parcel Plat.
9. All wastewater disposal systems must meet all current applicable State laws and/or local policies/ordinances. Depending on the type of facilities that are eventually built on these parcels and the amount of sewage flow, an alternative system may need to be designed.
10. The appropriate permits will be obtained prior to construction.
11. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

Rec'd 11/25/05 B

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 204-16-017 Current Zoning: None (N/C) Parcel Size 20 Acres

Legal Description:

The S2 of the ~~lot~~ NE4 SW4 of Section 7 T20N R14W

Water Provider: N/A Electric provider: N/A Sewer provider: N/A

Present use of property: Vacant

## Owner Information

Owner Name(must match current deed): Greg + Teresa Bean

Mailing Address: 13751 E. 45th Street City: Yuma State: AZ Zip: 85367

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: Connie Kuehn

Mailing Address: P.O. Box 982 City: Payson State: AZ Zip: 85547

Phone number: [REDACTED] Email: [REDACTED]

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: AR5A

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

To bring property into compliance and a minor land division

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

Greg Bean 11/21/25

Teresa Bean 11/21/25

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from Non Compliant to AR 5A for the purpose of Bringing property into compliance + a minor land division

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

Connie Kuehn  
Applicant / agent

Contact information:

Connie Kuehn P.O. Box 982  
Payson, AZ 85547

Assessor Parcel Number and Legal Description of proposed subject property: 204-16-017

The S2 of the ~~lots~~ NE4 SW4 of section 7 T20N R14W

APN 204-16-017

**RECORDING REQUESTED BY:**

Chicago Title Agency, Inc., an AZ corporation  
2699 E. Andy Devine Ave.  
Kingman, AZ 86401

**FEE# 2017040840**

OFFICIAL RECORDS OF MOHAVE COUNTY  
KRISTI BLAIR, COUNTY RECORDER  
08/25/2017 03:09 PM Fee \$17.00  
PAGE: 1 of 5

**WHEN RECORDED MAIL TO:**

Greg Bean and Teresa Bean  
525 E. Camden Street Unit 64  
El Cajon, CA 92020

Escrow No.: CTM17037774EG

Space above this line for Recorder's Use

**WARRANTY DEED**

For the consideration of Ten And No/100 Dollars (\$10.00), and other valuable considerations,

**Ralph D. Rogers and Deborah Y. Rogers, Co-Trustees The Ralph D. Rogers and Deborah Y. Rogers Revocable Living Trust dated May 25, 2000**

does hereby convey to

**Greg Bean and Teresa Bean, husband and wife**

the following real property situated in County of Mohave, State of Arizona:

**The South half of the Northeast quarter of the Southwest quarter (S1/2 NE1/4 SW1/4) of Section 7, Township 20 North, Range 14 West of the Gila and Salt River Base and Meridian, Mohave County, Arizona.**

**EXCEPT all oil, gas, coal and minerals as reserved in instrument recorded in Book 89 of Deeds, page 334.**

SUBJECT TO: Current taxes and other assessments, reservations in patents and all easements, rights of way, covenants, conditions and restrictions as may appear of record.

The undersigned hereby warrants the title against all persons whomsoever, subject to the matters set forth.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: August 18, 2017

The Ralph D. Rogers and Deborah Y. Rogers  
Revocable Living Trust dated May 25, 2000

BY: Ralph D. Rogers  
Ralph D. Rogers, Trustee

BY: Deborah Y. Rogers  
Deborah Y. Rogers, Trustee

**WARRANTY DEED**  
(continued)

2017040840 Page: 2 of 5

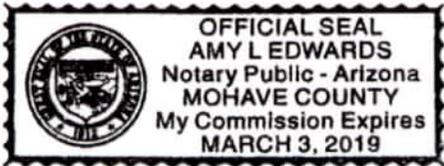
State of ARIZONA  
County of MOHAVE

This instrument was acknowledged before me on this 21<sup>st</sup> day of August, 2017, by Ralph D. Rogers and Deborah Y. Rogers.

Amy L Edwards  
Notary Public

My Commission Expires: 3/3/19

[SEAL]



Unofficial Copy

**BENEFICIARY'S STATEMENT**  
(continued)

Name: Ralph Rogers  
 Address: 4120 N. Van Nuys, Klagman, AZ. 86409  
 Name: Deborah Rogers  
 Address: 4120 N. Van Nuys, Klagman, AZ. 86409  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_

The Ralph D. Rogers and Deborah Y. Rogers Revocable Living Trust dated May 25, 2000

BY: Ralph D. Rogers  
Ralph D. Rogers, Trustee

BY: Deborah Y. Rogers  
Deborah Y. Rogers, Trustee

Unofficial



**ACCEPTANCE OF COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP**

**Escrow No.:** CTM17037774EG

Greg Bean and Teresa Bean, husband and wife each state that:

They have offered to purchase the real property situated in Mohave County described as follows:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MOHAVE, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

The South half of the Northeast quarter of the Southwest quarter (S1/2 NE1/4 SW1/4) of Section 7, Township 20 North, Range 14 West of the Gila and Salt River Base and Meridian, Mohave County, Arizona.

EXCEPT all oil, gas, coal and minerals as reserved in instrument recorded in Book 89 of Deeds, page 334.

Each of them, individually and jointly as Grantees, declare that it is their intention to accept the conveyance and acquire all interest in the real property as community property with right of survivorship, and not as a community property estate and not as tenants in common.

By the execution and delivery of this "Acceptance of Community Property With Right of Survivorship" they direct and authorize Escrow Agent to attach this "Acceptance of Community Property With Right of Survivorship" to the deed upon its execution and delivery and to record this "Acceptance of Community Property With Right of Survivorship" together with the deed.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: August 18, 2017

*Greg Bean*  
\_\_\_\_\_  
Greg Bean

*Teresa Bean*  
\_\_\_\_\_  
Teresa Bean

State of ARIZONA  
County of MOHAVE

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by Greg Bean and Teresa Bean.

Notary Public  
My Commission Expires:

[SEAL]

*See attached for*

**ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of San Diego )

On 08/22/2017 before me, Marilyn Lawler Notary Public  
(insert name and title of the officer)

personally appeared Greg Bean & Teresa Bean  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is~~ are  
subscribed to the within instrument and acknowledged to me that ~~he~~ she ~~they~~ executed the same in  
~~his~~ her ~~their~~ authorized capacity(ies), and that by ~~his~~ her ~~their~~ signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

(Seal)



Unofficial Copy



# MOHAVE COUNTY DEVELOPMENT SERVICES

P. O. Box 7000 Kingman, Arizona 86402-7000 3250 E. Kino Ave, Kingman www.mohave.gov Telephone (928) 757-0903 FAX (928) 757-3577

Scott Holtry  
Department Director

Sam Elters, P. E.  
County Manager/County Engineer

## RECEIPT

Permit Number: P-122  
Type: REZONE  
APN: 204-16-017  
Applicant Name: CONNIE KUEHN  
Site Address: PO BOX 982, Payson, AZ 85547

Receipt Number: REC #P-122

Fee Description	Amount	Date Paid
Rezone Application	\$ 790.00	11/25/2025

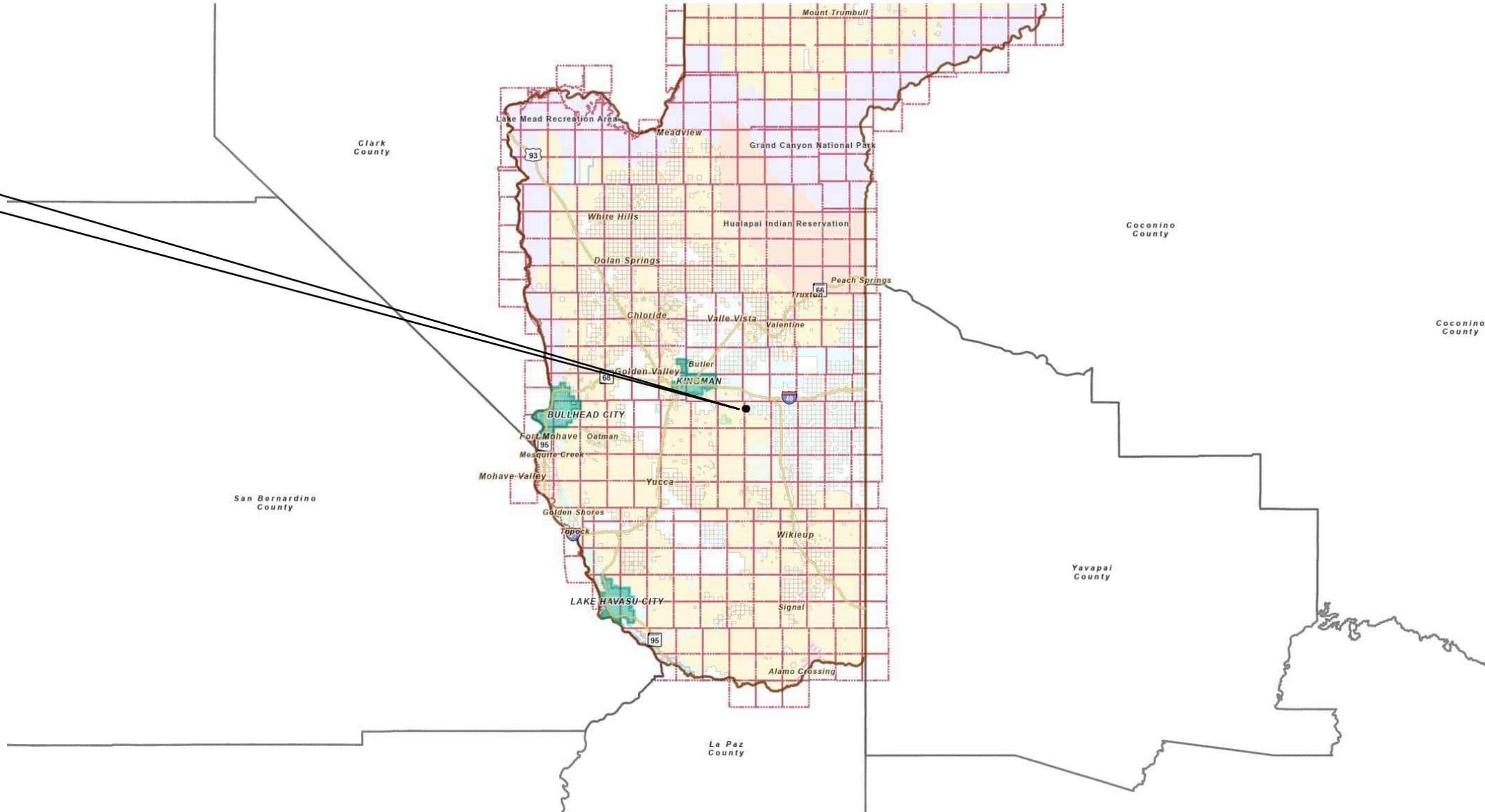
Total Fees Paid: \$ 790.00  
Method of Payment: CHECK 0122  
Cashier: VB

# REZONE 204-16-017 GENERAL MAP

REZONE of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity.

Section 7  
T 20 N, R 14 W

Subject  
Property





# REZONE 204-16-017

## SITE MAP

Section 7  
T 20N, R 14 W

REZONE of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity.



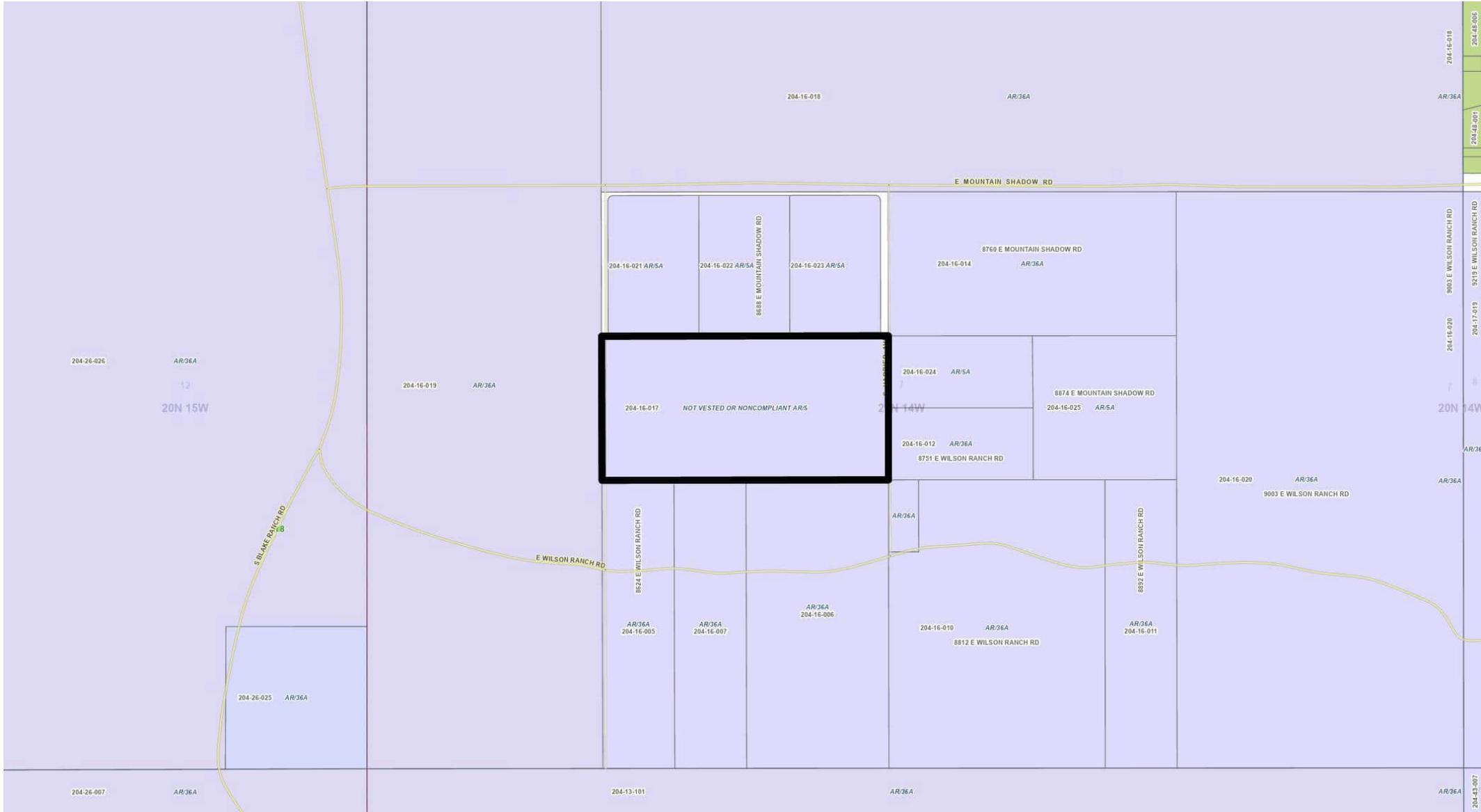
# REZONE 204-16-017

## ZONING MAP

REZONE of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity.

Section 7  
T 20N, R 14 W

- |  |   |
|--|---|
|  A     |  R-M       |
|  A-D   |  R-MH      |
|  A-R   |  R-O       |
|  C-1   |  R-O/A     |
|  C-2   |  R-P       |
|  C-2H  |  R-TT      |
|  CITY  |  S-D/A     |
|  C-M   |  S-D/C     |
|  C-MO  |  S-D/C-1   |
|  C-RE  |  S-D/C-2   |
|  E     |  S-D/C-M   |
|  M     |  S-D/C-RE  |
|  M-2   |  S-D/M     |
|  MIXED |  S-D/R     |
|  M-X   |  S-D/R-1   |
|  N-P   |  S-D/R-E   |
|  R-1   |  S-D/R-M   |
|  R-2 |  S-D/R-O |
|  R-E |   |



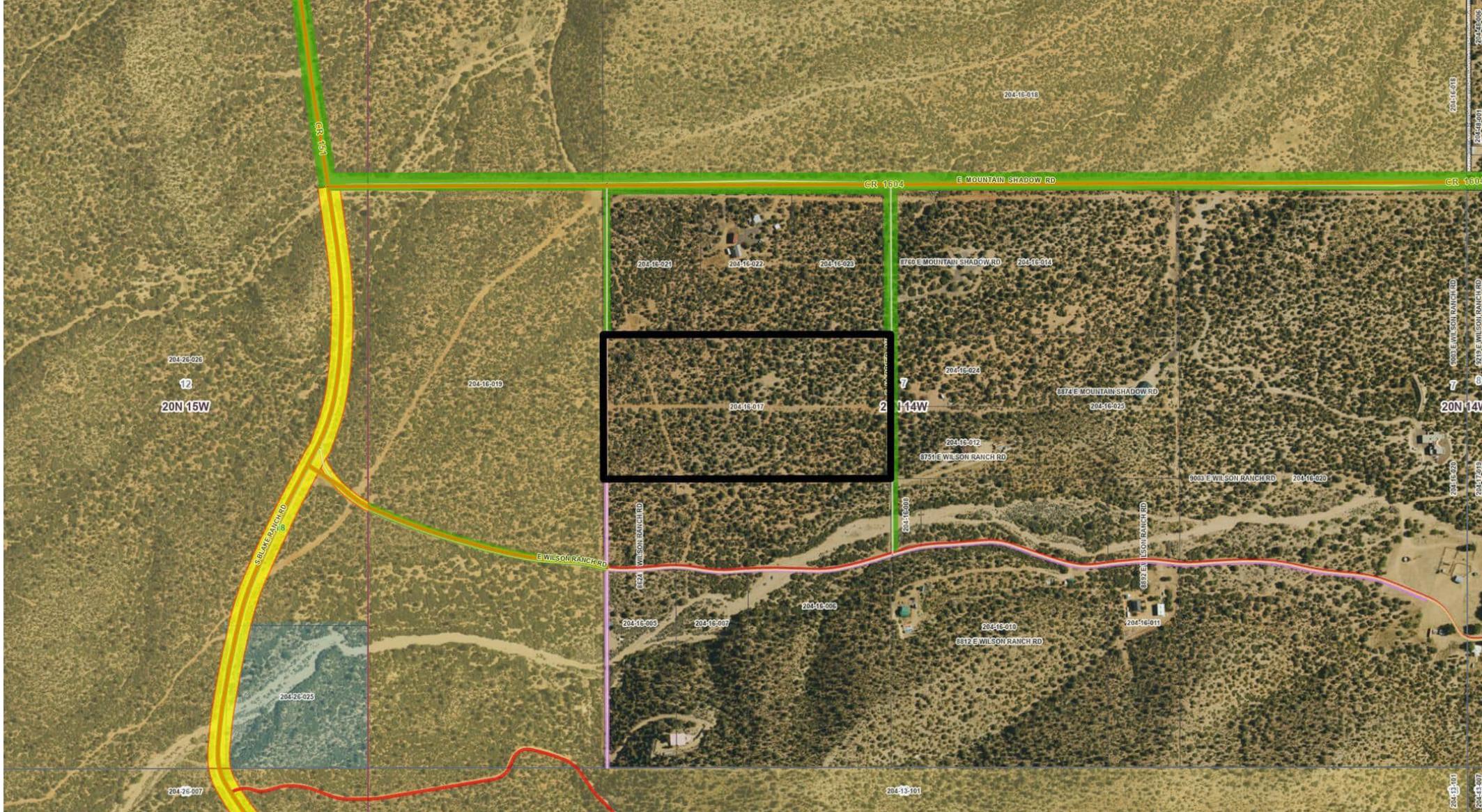
# REZONE 204-16-017

## RIGHT OF WAY MAP

REZONE of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity.

Section 7  
T 20 N, R 14 W

-  Drainage
-  Utility
-  Public
-  Not Perfected
-  RS 2477
-  Further Research Req
-  Not Public
-  No R/W



# REZONE 204-16-017 REQUEST

REZONE of Assessor's Parcel No. 204-16-017 from an A-R/36A (Agricultural Residential/Thirty-Six Acre minimum lot size) zone to an A-R/5A (Agricultural Residential/Five Acre minimum lot size zone) zone, to bring property into compliance and allow for a minor land division, in the Kingman vicinity.

Section 7  
T 20 N, R 14 W





**ZONING  
NOTICE**

NOTICE IS HEREBY GIVEN THAT THE CITY OF WILSON, TEXAS, HAS ADOPTED THE FOLLOWING ZONING ORDINANCE, WHICH SHALL BE EFFECTIVE ON THE DATE OF THE NEXT REGULAR MEETING OF THE CITY COUNCIL, TO BE HELD ON MAY 11, 2016, AT 7:00 P.M. IN THE CITY COUNCIL CHAMBERS, 100 WEST WILSON AVENUE, WILSON, TEXAS.

**CITY OF WILSON**



**ZONING NOTICE**  
This property is zoned for residential use. Any commercial or industrial use is prohibited. For more information, please contact the local planning department.

13. **Evaluation of a request for a REZONE of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size Zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity, Mohave County, Arizona.**

This evaluation is to determine whether approval should be granted for a Rezone, for the above-described property as requested by Filemon Rubio and Suyapa Hernandez of Las Vegas, Nevada.

Assessor's Parcel No. 306-24-056B is described as Parcel 56B on Parcel Plat 23-86, located in Section 19, Township 21 North, Range 18 West.

The site is approximately 5.65 acres and is located north of Bolsa Drive and east of Teddy Roosevelt Road. The site is accessed from State Highway 68, then south on Teddy Roosevelt Road, approximately 2.21 miles to the site.

The site appears to be vacant. The surrounding land consists of single-family residences and vacant land.

The applicant requests this Rezone from a A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size) zone to a C-RE (Commercial Recreation) zone to allow for an RV Park.

The site is in the Golden Valley Fire District. Water service does appear to be available. Electric and sewer services do not appear to be available. Teddy Roosevelt Road is unpaved and is on the County's road maintenance system.

A review of FEMA FIRM Panel #04015C-4509J indicates the parcel described to mostly be in Zone AE, in the Special Flood Hazard Area, and the western half in Zone AE Floodway, in the Special Flood Hazard Area.

**FINDINGS OF FACT:**

The following described Findings of Fact are for the above-captioned item:

- a. All notices have been advertised and posted according to regulations.
- b. The proposed action and effect will comply with the Mohave County General Plan.
- c. The site appears adequate for the intended action.
- d. The neighboring area does contain other zonings similar to the above-proposed action.
- e. The site appears to have legal access via unpaved roads.
- f. The noted flood zones are environmental features affecting the site.
- g. Water service does appear to be available. Electric and sewer services do not appear to be available.

**STAFF RECOMMENDATION:**

**Staff finds that the application is proper for consideration, subject to the following:**

1. The site will be rezoned to a C-RE (Commercial Recreation) zone.
2. An RV Park plan, prepared in accordance with Section 37.G (RV Parks), must be completed prior to the approval of permits and before establishing the use.
3. A site plan, prepared in accordance with Section 37.N (Site Plan Requirements), may be required prior to the approval of permits and before establishing the use. In addition, the applicant may be required to provide a view-obscuring fence, if required by Section 37.N of the Mohave County Zoning Ordinance, prior to establishing the use.
4. The appropriate permits shall be obtained prior to construction.
5. The Rezone shall not become effective until at least thirty (30) days after final approval of the change in classification by the Board of Supervisors, as per A.R.S. 11-814.K.

# REZONE APPLICATION

## Inquiry Information

Have you contacted a representative from the Planning and Zoning Division of Mohave County Development Services prior to submitting this application?  Yes  No

## Property Information

Assessor Parcel Number: 306-24-056B Current Zoning: AR/4A Parcel Size 5.65 Acres

Legal Description:  
T21N R18W SEC 19 SUN WEST ACRES TR 1027 LOT 56 SEGREGATED AS PARCEL 56B ON  
PP 23/86 4/19/2005 2005-40524 CONT 5.65 ACRES 306-24-056 (306-24-056A THRU D) 2006 TAX  
ROLL

Water Provider: \_\_\_\_\_ Electric provider: \_\_\_\_\_ Sewer provider: \_\_\_\_\_

Present use of property: Vacant

## Owner Information

Owner Name(must match current deed): RUBIO FILEMON H & HERNANDEZ SUYAPA

Mailing Address: 8113 Ducharme Ave City: Las Vegas State: NV Zip: 89145

Phone number: [REDACTED] Email: \_\_\_\_\_

## Agent Information (to be completed if owner has appointed an agent to complete the application process)

Agent Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

## Request

I (we) hereby request that the Board of Supervisors set this matter for public hearing following evaluation by the Planning and Zoning Commission for rezoning:

Proposed to be: CRE

Will all parcels comply with the minimum lot size requirements of the new zone?  Yes  No

Does the new zone comply with the Mohave County General Plan?  Yes  No (if no complete the Plan Amendment Supplement)

For the purpose of:

RV Park

## Authorization

By signing below I certify I am the current property owner, concur with the request, and all the information is correct to the best of my knowledge. If agent information is completed I allow them to act on my behalf regarding this application.

[Signature]  
[Signature]

All owners of record must sign. If property is owned by a commercial entity signing authority status must be provided.

# Rezone Notice of Hearing

Dear Property Owner:

This letter is to notify you of a request for a change of zone for the below – captioned property from AR/4A  
to CRE for the purpose of RV Park.

The Mohave County Zoning Ordinance requires all property owners within 300 feet (1 mile for MX zoning requests) of the subject property be notified of this request. The enclosed vicinity map is included for your reference.

Arizona Revised Statutes § 11-814.D relating to County Zoning indicates that if twenty percent (20%) of the property owners by area and number within the zoning area (300 feet) file protests to the proposed change, the change shall not be made except by a three - quarters (3/4) vote of all members of the Board of Supervisors.

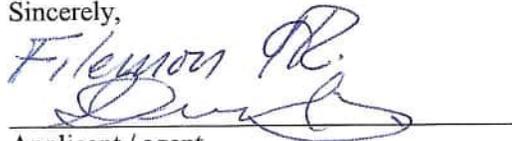
Protests to be included in the calculation MUST be: Filed in writing before noon the Friday prior to the Board of Supervisors hearing; clearly state opposition to the amendment or change; indicate the Assessor's Parcel Number or Address of the parcel(s) owned by the party filing the comment; filed by the property owner of the property within 300'. If there are multiple parties owning one property, a single filing by any member of the party is sufficient. Only one opposition per property will be counted.

Please email all comments to the planner assigned to the item at the email address located on the bottom of the enclosed *Notice of Planning and Zoning Commission Public Hearing* slip, to our general email at [Planners@Mohave.gov](mailto:Planners@Mohave.gov), or you can mail letters to the following address:

Mohave County Development Services Department  
3250 East Kino Avenue  
P.O. Box 7000  
Kingman AZ 86402-7000  
928-757-0903 Fax 928-757-3577

You may direct questions to the applicant, contact information below. Please direct all comments to Mohave County Development Services.

Sincerely,

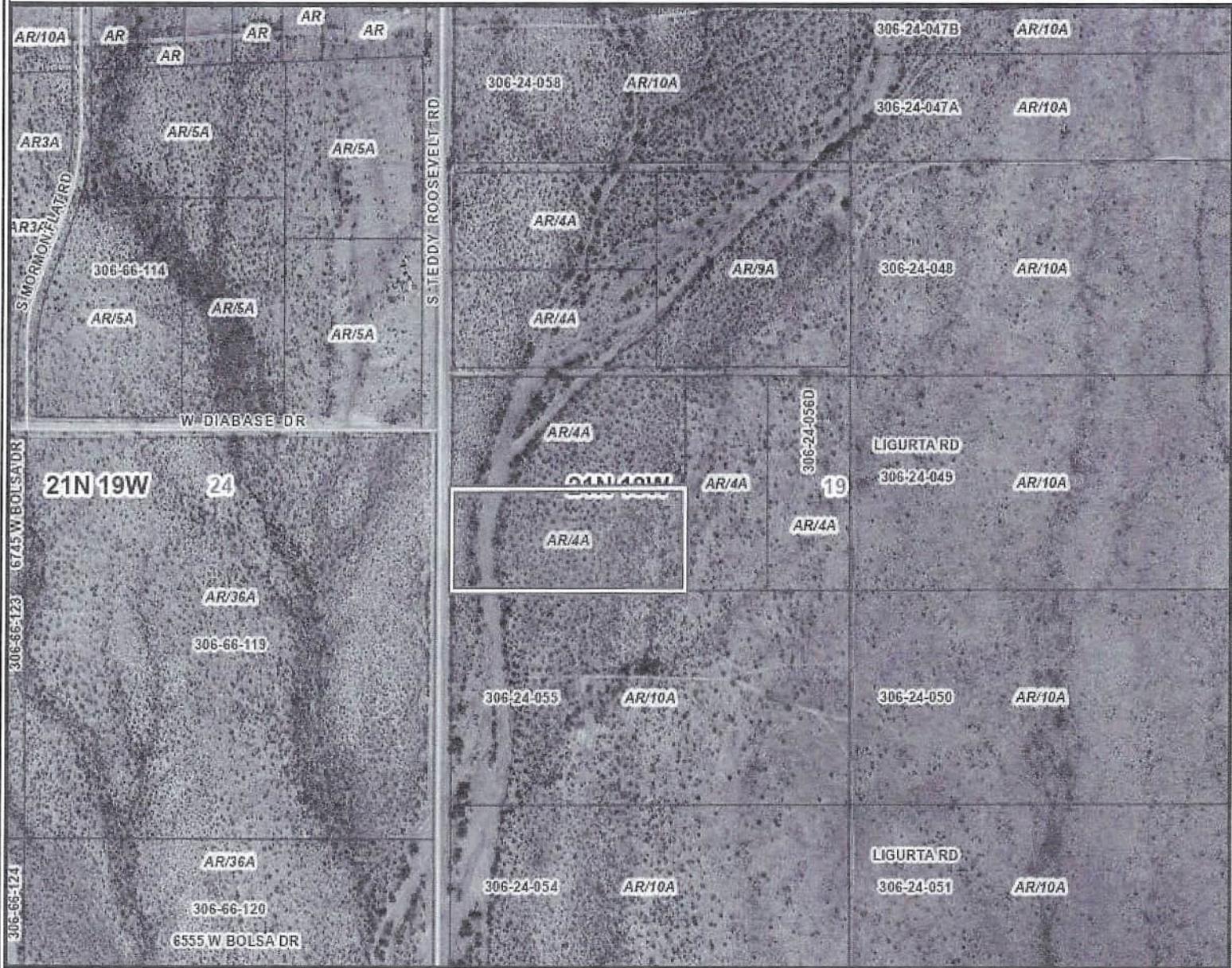


Applicant / agent

Contact information:

[REDACTED]

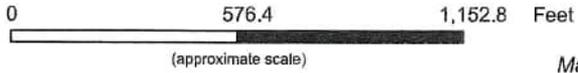
Assessor Parcel Number and Legal Description of proposed subject property: 306-24-056B  
T21N R18W SEC 19 SUN WEST ACRES TR 1027 LOT 56 SEGREGATED AS PARCEL 56B ON  
PP 23/86 4/19/2005 2005-40524 CONT 5.65 ACRES 306-24-056 (306-24-056A THRU D) 2006 TAX  
ROLL



**Legend**

- ADOT Mileposts
- COUNTY Mileposts
- Sign Post Exists
- Calculated Measure
- Highways
- Main Arterials
- Collectors
- Local
- Railroad
- Zoning (Vested Only)
- City Limits (>1:120K)
- County Boundary
- Surrounding Counties
- Township/Range
- Section
- Surface Management
  - Bureau of Land Management
  - Bureau of Reclamation
  - County
  - Indian Lands
  - Local or State Parks
  - Military
  - National Parks Service
  - Other
  - Private
  - State
  - State Wildlife Area
  - US Forest Service

1: 6,917



This map is a user generated static output from the Mohave County Interactive Map Viewer and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION, AS A LEGAL DOCUMENT, FOR PROPERTY DESCRIPTIONS, OR DETERMINATION OF LEGAL TITLE, AND SHOULD NEVER BE SUBSTITUTED FOR SURVEY OR DEED INFORMATION. The user agrees to comply with the Limitation of Use, and Assumption of Risk as stated in the full disclaimer at <https://gis.mohave.gov>

**Notes:**



# MOHAVE COUNTY DEVELOPMENT SERVICES

P. O. Box 7000 Kingman, Arizona 86402-7000 3250 E. Kino Ave, Kingman [www.mohave.gov](http://www.mohave.gov) Telephone (928) 757-0903

Scott Holtry  
Department Director

Sam Elters, P.E.  
County Manager/County Engineer

December 11, 2025

Rubio Filemon & Hernandez Suyapa  
8113 Ducharme Ave  
Las Vegas, NV 89145

RE: Evaluation of a request for a **REZONE** of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre minimum lot size zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity (north of Bolsa Drive, east of Teddy Roosevelt Road), Mohave County, Arizona.

Dear Applicant:

At their regular meeting on Wednesday, December 10, 2025, the Mohave County Planning and Zoning Commission voted to **CONTINUE** the above-captioned request due to commissioners having questions for you as the applicant. The next meeting will be on **January 14, 2026, at 10:00 A.M. at 700 W Beale Street Kingman, AZ**. If you are unable to attend the meeting in person, you may request to attend virtually by emailing [crockr@mohave.gov](mailto:crockr@mohave.gov)

If you have any questions regarding the continued processing of this item, don't hesitate to contact Cassidy Beaupre at 928-757-0903, ext.5809.

Sincerely,



Development Services operating hours are Monday to Friday, 7:00 AM to 6:00 PM  
My working hours are Monday to Thursday, 7:00 AM to 6:00 PM

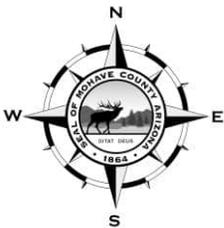
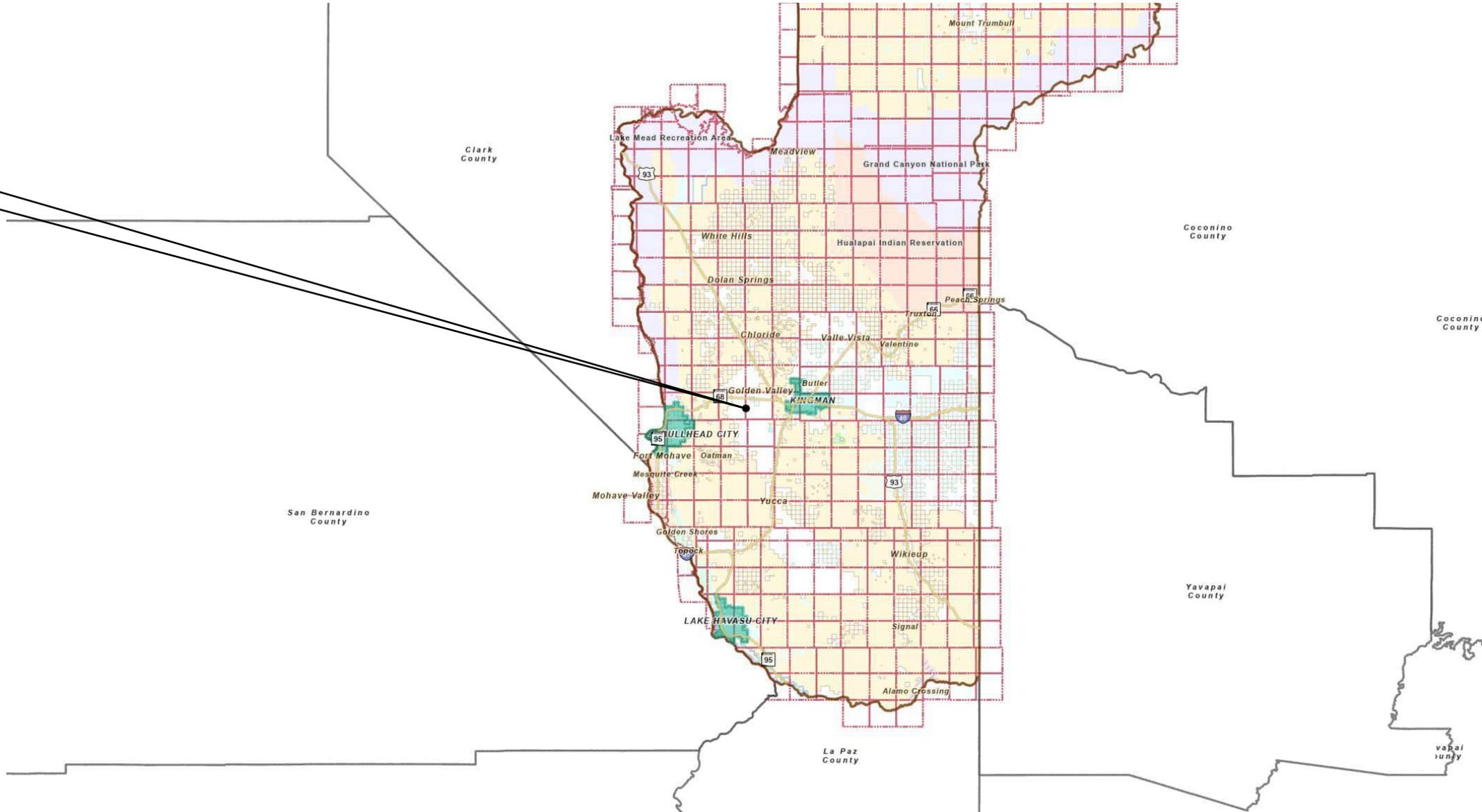
# REZONE 306-24-056B

## GENERAL MAP

REZONE of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size Zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity.

Section 19  
T 21 N, R 18 W

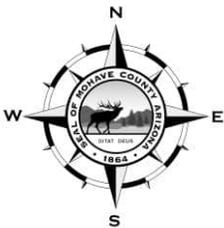
Subject  
Property



# REZONE 306-24-056B VICINITY MAP

REZONE of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size Zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity.

Section 19  
T 21 N, R 18 W





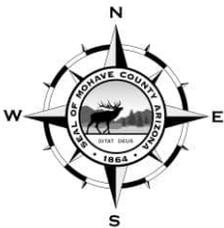
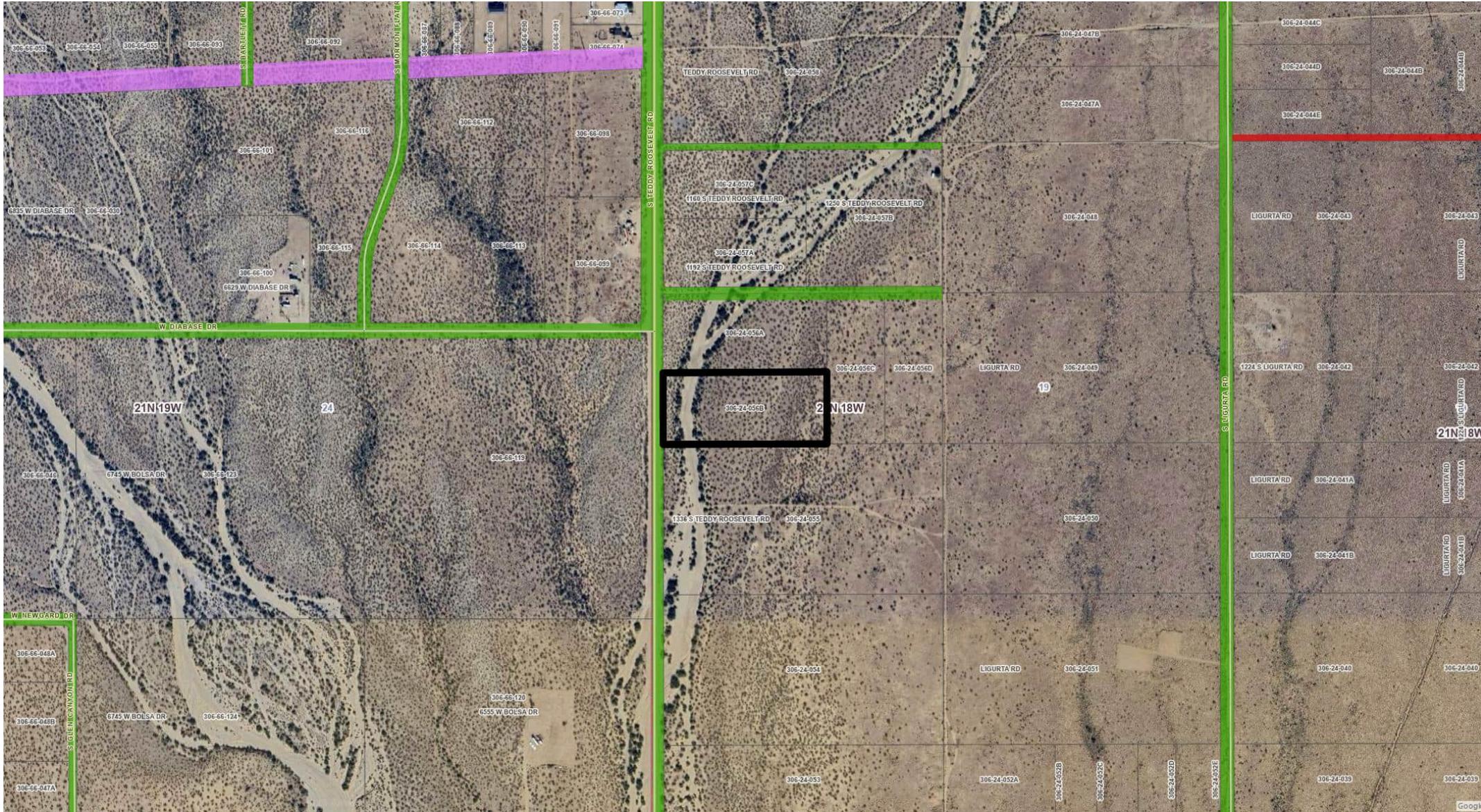


# REZONE 306-24-056B RIGHT OF WAY MAP

REZONE of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size Zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity.

Section 19  
T 21 N, R 18 W

-  Drainage
-  Utility
-  Public
-  Not Perfected
-  RS 2477
-  Further Research Req
-  Not Public
-  No R/W



# REZONE 306-24-056B REQUEST

REZONE of Assessor's Parcel No. 306-24-056B from an A-R/4A (Agricultural Residential/Four Acre Minimum Lot Size Zone) zone to a C-RE (Commercial Recreation) zone, to allow for an RV park, in the Golden Valley vicinity.

Section 19  
T 21 N, R 18 W



**ZONING NOTICE**

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Maricopa County, Arizona at the regular meeting room of the Commission, 700 N. Beale Street, Phoenix, Arizona on: **Wednesday, December 10, 2008, at 10:00 A.M.**

As a member of the Planning and Zoning Commission, I am hereby notified that I am required to attend this hearing. I understand that I am required to attend this hearing and that I am required to attend this hearing. I understand that I am required to attend this hearing and that I am required to attend this hearing.

FOR MORE INFORMATION CONTACT: [unreadable] [unreadable] [unreadable]



**ZONING NOTICE**

NOTICE IS HEREBY GIVEN that a hearing will be held by the Planning and Zoning Commission of Mohave County, Arizona at 700 W. Beale Street, Kingman, Arizona, on Wednesday, December 10, 2025, at 10:00 A.M.

**Re: Petition:**

**Re: Ordinance:**

**FOR MORE INFORMATION, CONTACT THE NATURE CENTER:**



# MOHAVE COUNTY DEVELOPMENT SERVICES

## BUILDING DIVISION

Mailing Address: P. O. Box 7000, Kingman, Arizona 86402-7000

Scott Holtry  
Department Director

www.mohave.gov

Gilbert Smaby, C.B.O.  
Chief Building Official

### MEMORANDUM

**TO:** Planning and Zoning Commission  
**THRU:** Scott Holtry, Development Services Director  
**FROM:** Gilbert Smaby, Chief Building Official  
**DATE:** November 25, 2025  
**RE:** Discussion and possible action regarding amending the Building Ordinance 2021-03, Section R105.5 to provide for an exception to the expiration permit fee to allow for a single inspection fee to final an expired permit

#### HISTORY

There have been past cases where a homeowner discovers that their house never received a final inspection and the original building permit has expired. We have seen this situation typically when the homeowner attempts to obtain a permit for another improvement on the property. Some cases where this has happened are when the contractor fails to call for final inspection, the contractor abandoned the project, or the contractor is no longer in business. As of no fault of the homeowner, the building ordinance requires full permit fees to be paid to reinstate the building permit and receive a final inspection.

#### BUILDING CODE ADVISORY BOARD RECOMMENDATION

At the November 18, 2025, Building Code Advisory Board meeting, the Board held a Public Hearing and heard a presentation from Chief Building Official Gilbert Smaby. After Board discussion, the Board passed a motion to recommend to the Planning Commission to amend the building ordinance for the allowance of a one-time special inspection to final the project.

#### RECOMMENDATION

**Recommended motion: Recommend to the Mohave County Board of Supervisors to adopt Mohave County Ordinance 2025-08 to amend the Building Ordinance 2021-03, Section R105.5, to allow for a one-time special inspection with a fee of \$65.00 to reinstate the expired permit and conduct a final inspection. The final inspection will be based on the code edition in which the structure was originally permitted. This would only apply to residential single-family residences.**

#### SECTION 11 AMENDMENTS AND DELETIONS TO TECHNICAL CODES

##### B. The International Residential Code

###### IRC Section R 105.5 Expiration:

In order for such work to be re-commenced after a permit has expired, a new permit shall first be obtained to do so, and the fee therefore shall be one-half the amount required for a new permit for such work, provided no changes have been made or will be made in the original plans and specifications for such work, and provided further that such suspension or last approved inspection

has not exceeded one year. In order to renew action on a permit after expiration that exceeds one year, the permittee shall pay the new full permit fee.

Amend to add to the end of paragraph: **In the case where a permit has been expired in excess of one year through no fault of the property owner and construction has been completed without a final inspection, a one-time special inspection fee of \$65.00 may be charged in lieu of full permit fee to reinstate the permit and complete a final inspection. The final inspection will be based on the code edition in which the structure was originally permitted.**



# MOHAVE COUNTY DEVELOPMENT SERVICES

## BUILDING DIVISION

Mailing Address: P. O. Box 7000, Kingman, Arizona 86402-7000

Scott Holtry  
Department Director

www.mohave.gov

Gilbert Smaby, C.B.O.  
Chief Building Official

### MEMORANDUM

**TO:** Planning and Zoning Commission  
**THRU:** Scott Holtry, Development Services Director  
**FROM:** Gilbert Smaby, Chief Building Official  
**DATE:** November 5, 2025  
**RE:** Discussion and possible action regarding amending the Building Ordinance 2021-03, Section M1307.3.1 to define approved vehicle impact barriers.

#### HISTORY

In past customs and practices, it has been the Building Division's opinion that a 24-inch-high platform / stand was sufficient to act as a vehicle appliance impact protection method in residential garages. As the International Residential Code (IRC) requires only "approved" barriers and does not specifically name the approved barrier method, staff is proposing to amend the ordinance to identify what methods are approved, including a wall, post bollard, curb or a 24-inch-high platform / stand.

#### BUILDING CODE ADVISORY BOARD RECOMMENDATION

At the November 18, 2025, Building Code Advisory Board meeting, the Board held a Public Hearing and heard a presentation from Chief Building Official Gilbert Smaby. After Board discussion, the Board passed a motion to recommend to the Planning and Zoning Commission to amend the Building Ordinance defining what would be an approved barrier for appliance protection.

#### RECOMMENDATION

**Recommended motion: Recommend to the Mohave County Board of Supervisors to adopt Mohave County Ordinance 2025-09 to amend the Building Ordinance 2021-03, Section M1307.3.1 to allow the use of a wall, post bollard, curb or a 24-inch-high platform / stand as approved methods for appliance impact protection in a residential garage.**

#### SECTION 11 AMENDMENTS AND DELETIONS TO TECHNICAL CODES

##### B. The International Residential Code

IRC Section 1307.3.1 Protection from impact. Amend to add to the end of paragraph:

Appliances shall not be installed in a location subject to vehicle impact damage except where protected by approved barriers. **The approved methods are a wall, post bollard, curb or a 24-inch-high platform / stand.**